

This is an artistic representation of the design. It is not intended to be an exact rendition.

PAHK

PROJECT

Caroline and Joon  
Pahk

93 Raymond Ave  
Somerville, MA  
02144

CONTRACT PLANS

APPROVED BY:

APPROVED BY:

DATE  
: 2/7/2018

REVISION DATE:

PRINTED ON:  
5/16/2018

COVER PAGE

SCALE:

DRAWING #

DRAWN BY:

R.A.  
N.S.  
N.H.

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1

PROJECT:  
PAHK RESIDENCE

REVISION DATE:

LOCATION:  
93 Raymond Ave  
Somerville, MA  
02144

PREPARED BY:  
Francis Harvey Remodeling, LLC  
697 Hartford Turnpike  
Shrewsbury, MA. 01545

DATE:  
2/7/2018

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GENERAL NOTES

- 1. Removal of and disposal of job related debris from site.
- 2. Provide temporary toilet for staff unless arranged otherwise.
- 3. "Broom Clean" new work area at the end of each work day and keep job site in a clean and orderly manner.
- 4. Provide work site message center per arrangement with owner.
- 5. Provide job schedule for general phases of the project.
- 6. Hold weekly meetings with owner to assess project schedule and progress of job.

EXISTING CONDITIONS

These plans and specifications call for the installation of new construction components or modification to existing components. It is assumed that the existing structure is code-compliant and will function properly with these newly installed components. Modification of the pre-existing structure and its effect on newly installed components is not included unless otherwise noted.

MATERIALS (Non-Hazardous)

Francis Harvey Remodeling, LLC retains ownership of all excess building products and supplies (overstock) and demolished materials. Remaining non-hazardous materials and demolished debris will be removed from the jobsite.

OWNER SUPPLIED MATERIALS/ITEMS

Home owner is responsible for delivery, inspection, storage, and assembly of all home owner supplied items or materials from delivery to installation.

LEAD & HAZARDOUS MATERIALS

The cost to perform work in accordance with lead safe and/or hazardous material removal work practices will be evaluated at time of discovery unless otherwise noted. In the event that Hazardous materials are encountered, a cost assessment will be made and presented to the homeowner for approval prior to demolition or removal (excluding any that are specifically identified in this Construction Agreement.)

DEMOLITION

All demolition performed assumes removal of a single layer of material unless otherwise noted. This includes but not limited to siding, roofing, drywall, flooring, wall, and ceiling coverings unless specifically stated otherwise.

SELF PERFORMED WORK

For scheduling and logistical purposes, no work shall be performed independent of Francis Harvey Remodeling, LLC without the written approval of Francis Harvey Remodeling, LLC.

EXCAVATION

Excavation to include work associated with the digging out of soil. This work assumes that there is no ledge or boulders larger than 6" in diameter for hand excavation and 1/8 yd for machine excavation unless otherwise noted. It is assumed that the ground is composed of suitable load bearing soils, free of organic matter, non-compacted back fill or expansive soils. Excavation will not begin without DIGSAFE marking underground lines from utility companies. All private lines, including landscaping sprinkler, septic and wells, must be identified by the client. Relocating, repairing or special measures such as hand work, of any and all private lines and/or utility lines is excluded unless specifically noted. An additional work order will be presented for hand excavation and/or repair of such lines shall be presented to the client upon discovery. It is assumed that excavation to the required depth can occur without ground water mitigation. In the event that ground water is encountered, Francis Harvey Remodeling, LLC will present a proposal for any additional work and/or engineering for remediation of unsuitable soils to the client.

FRAMING

Framing lumber will consist of K-D (kiln-dried) lumber which is typically shipped with a moisture content of 19%. The framing material eventually dries to 6% - 11% in a completed building. This is a normal process that may cause shrinkage which can create drywall cracks and settling. Repairs to drywall due to this settling is the responsibility of the client. This will typically present, if at all, in the first few years of ownership. It is a normal condition that can be easily attended to with plaster and paint when/if encountered.

ROOFING

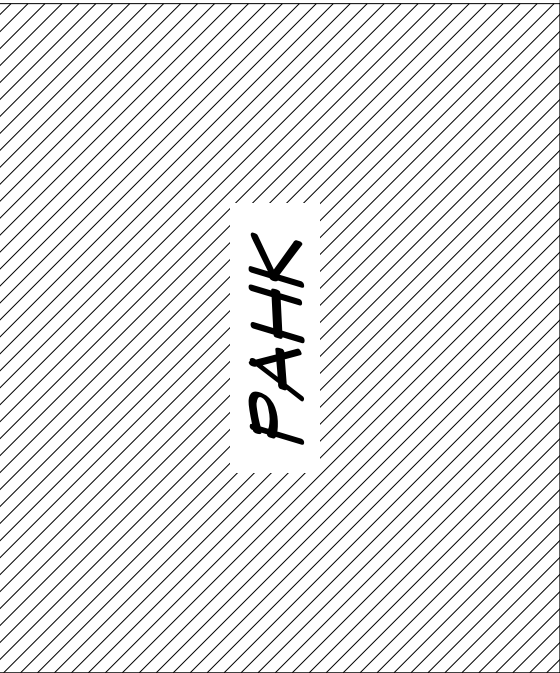
ROOFING EXISTING STRUCTURE: It is assumed that the existing roof deck is in an acceptable condition to attach new roofing. It is also assumed that the existing roof is properly ventilated.

SIDING

SIDING EXISTING STRUCTURE: It is assumed that the existing wall sheathing is in an acceptable condition to attach new siding.

COUNTERTOPS

Unless otherwise provided here-in, due to material veining, size, and yield, the final seam location will be determined by the installer/manufacture and Harvey Remodeling LLC at time of fabrication. If the client desires specific seam locations it may result in additional costs. Natural stone and manufactured materials will vary in color, shading, and veining and may not be uniform. Customer is encouraged to view and acknowledge acceptance of slab(s) prior to fabrication. If customer chooses not to view product or sign acknowledgement, no claim of dissatisfaction due to variations between the sample seen and the stone delivered will be warranted.



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N.H.

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CABINETS AND CLEAR TRIMWORK

All woods exhibit variations in color, grain, and texture. These variations are often within the same cabinet or piece of wood. Different species exhibit different characteristics that are indicative of a natural wood.

RED OAK

Red oak has a prominent grain pattern and may exhibit noticeable differences between open and closed grain areas

MAPLE

Maple is known for its fine, uniform grain and texture. It has a natural color range from nearly white to reddish-brown. Mineral streaks occur naturally in maple and are not considered a defect.

CHERRY

Cherry ranges from nearly white, to light red, to dark reddish-brown. Black mineral streaks and very light to white gum spots are common in cherry and are not considered a defect. Cherry will darken over time, especially when exposed to sunlight.

HICKORY

Hickory has unpredictable patterns which include dark streaks. It has wide color variations from fairly white to shades of reddish dark brown.

LYPTUS

Lyptus has a wide variety of colorations and grain patters. It darkens considerable and rapidly as it ages.

HOOD VENTILATION

It is assumed that the hood can be ventilated directly to the outside and does not include modification of mechanical systems or structural items.

APPLIANCE RELOCATING, INSTALLATION AND/OR ASSEMBLY

Unless otherwise specified herein, a maximum of two hours has been allowed for the installation of appliances, assembly of appliances, modifications of other building components, or tie-ins to mechanical systems

ELECTRICAL

Electrical will be installed according to plans and electrical schedules. It is assumed that the existing wiring system is sufficient to accept proposed electrical layout and new ARC fault protectors. The exact placement of lights, outlets, switches, and other electrical features will be determined by the framing layout. Any modifications to structure to accommodate placement is not included unless otherwise noted. Assembly of fixtures is not included. All decorative lighting is be supplied assembled by client unless otherwise noted. All fixtures are assumed to be 110 volts. Low voltage wiring is not included unless otherwise noted. Moving of underground electrical lines is excluded unless otherwise specifically noted herein.

These plans and specifications call for the installation of new electrical components. It is assumed that the existing electrical system is code-compliant and will function properly with these newly installed components. Troubleshooting and/or repair of the pre-existing electrical system and its effect on newly installed electrical and/or ARC-fault components is not included.

PLUMBING/HEATING/MECHANICAL SYSTEMS

Plumbing and heating and mechanical systems will be installed according to plans and schedules. It is assumed that the existing mechanical systems are sufficient to accept the proposed layout. The exact placement of fixtures will be determined by the framing layout. Any modifications to the structure to accommodate placement is not included unless otherwise specifically noted herein.

PAINTING

NEW TRIM Painting prep will consist of caulking of gaps in trim-work, filling nail holes and lightly sanding surfaces. All trim will have a prime coat plus two semi-gloss finish coats unless otherwise noted on finish schedule.

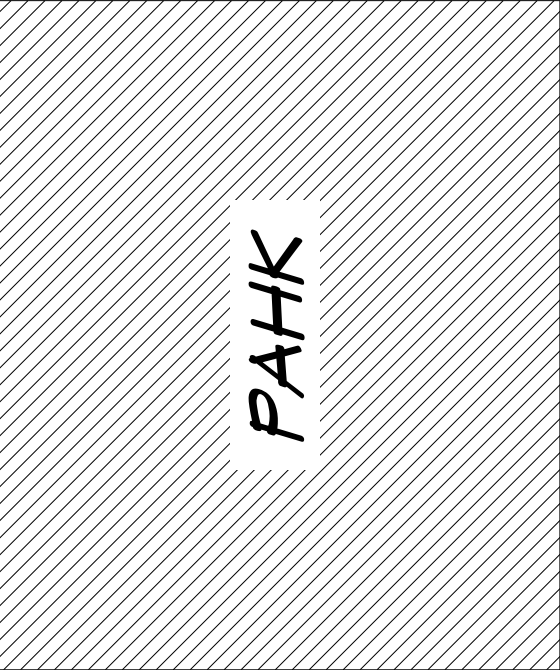
NEW WORK: New walls shall have one coat of primer and two coats of flat finish unless otherwise noted in finish schedule. New ceilings shall have one coat of primer and one coat of ceiling white paint.

RE-PAINTING EXISTING: For existing walls identified to be painted in the finish schedule, one coat of flat white finish paint will be applied unless otherwise noted on finish schedule. Painting prep will consist of no more than two hours of prep time per room unless otherwise noted. Prep includes caulking of gaps in trim-work, filling nail holes and lightly sanding surfaces. Should additional preparation be desired the home owner must make a written request prior to the painting of said surfaces and contractor will prepare an additional work order for homeowner's approval.

EXISTING TRIM: Prep will consist of lightly sanding existing finish not to exceed one hour per room unless otherwise noted in the finish schedule. It is assumed that the existing finish is properly bonded to trim-work and will not flake or peel once new finish is applied. Trim will be painted with one coat of satin white paint unless otherwise noted. Should additional preparation be desired the home owner must make a written request prior to the painting of said surfaces and contractor will prepare an additional work order for homeowner's approval.

MATCHING OF EXISTING MATERIALS AND FINISHES

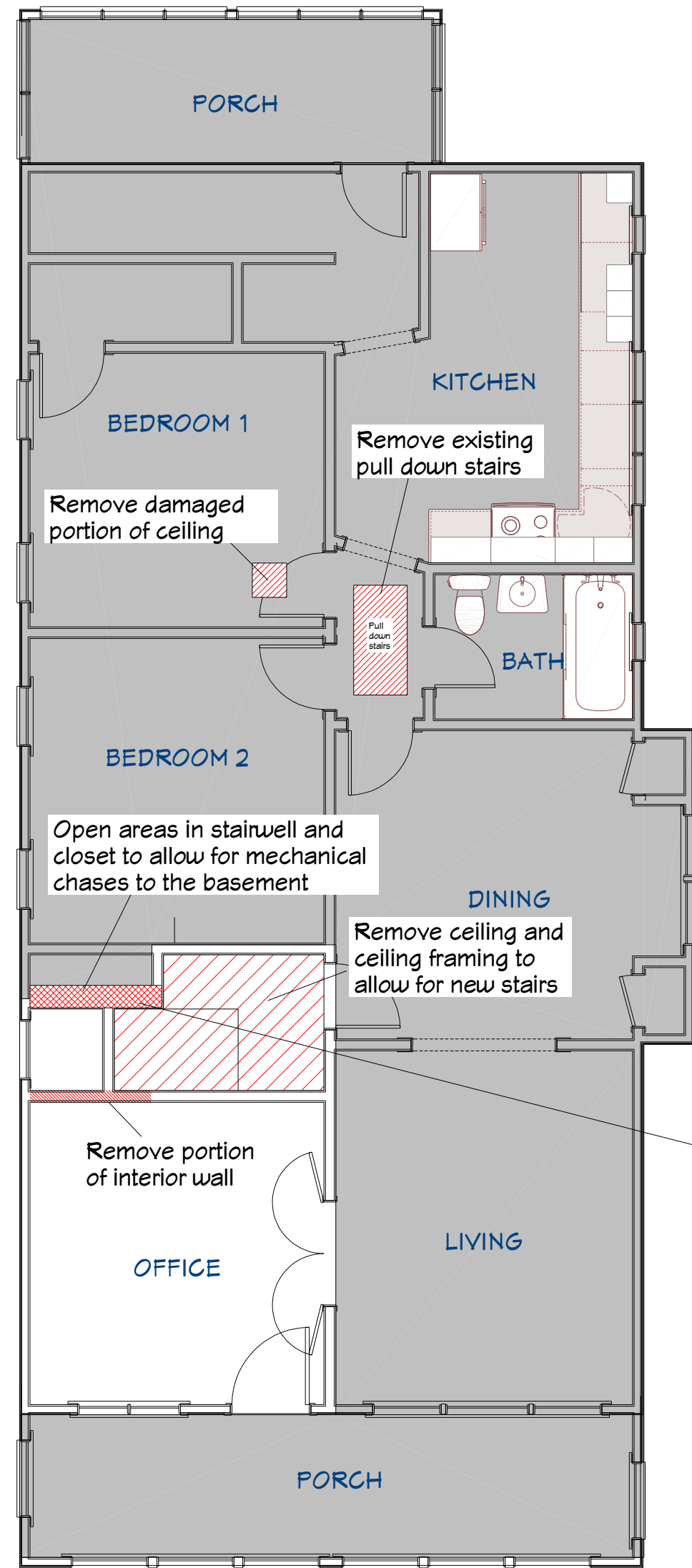
Matching existing materials can be difficult. Materials may no longer be produced or may have faded with age. The Contractor will attempt to match existing; however, Contractor makes no warranty that it will result in an acceptable match. For stain applications, owner is TO APPROVE THE STAIN SELECTION AND SIGN SAMPLE PRIOR TO COMMENCEMENT OF WORK. Contractor makes no warranty that the homeowner approved sample will match existing.



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CONTRACT PLANS	
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	PRINTED ON:  5/16/2018
GENERAL NOTES	
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EXISTING SECOND FLOOR  
3/16" = 1'

NOTE: Damage may occur to adjacent areas during demolition and construction. Repairs of any of these areas are not covered in this agreement and will be addressed as Additional Work Orders.

**DEMOLITION**

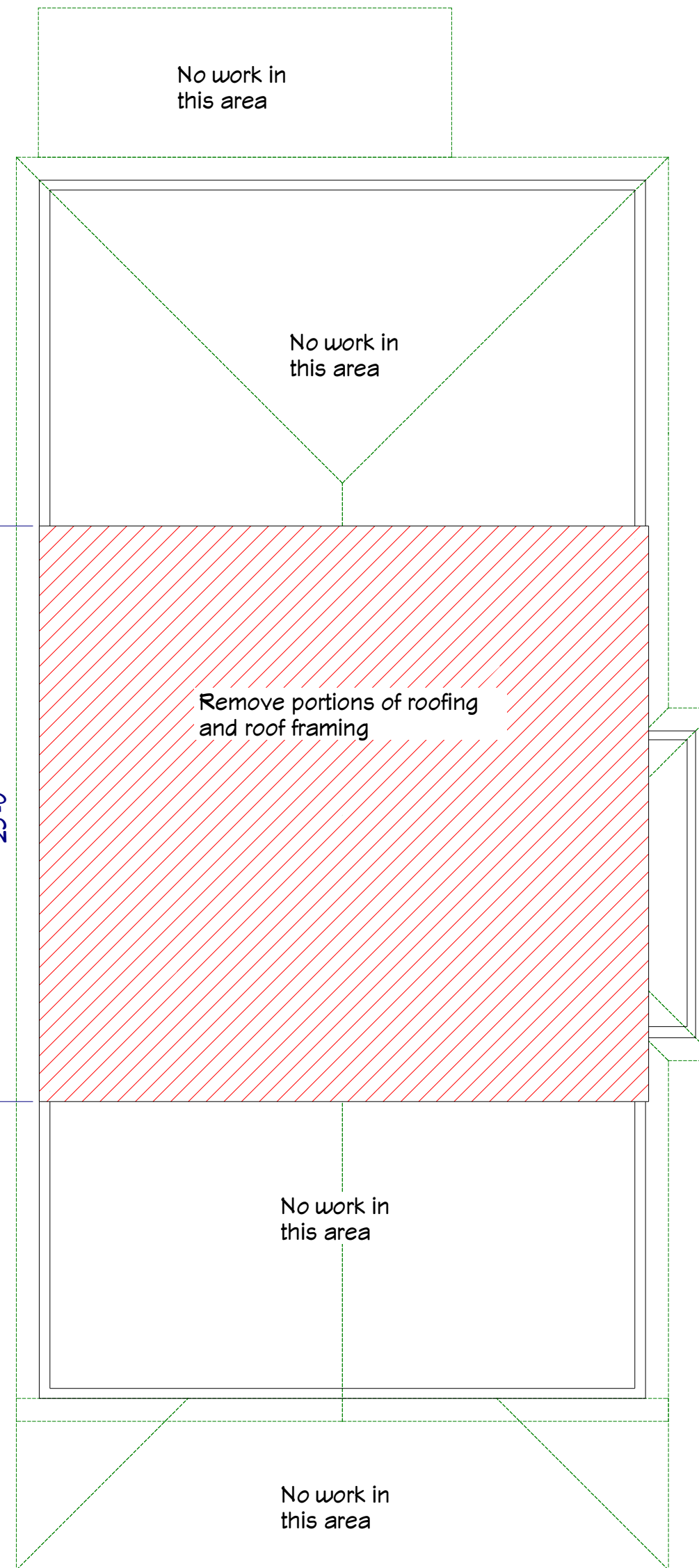
NOTE: No work in areas shaded gray unless otherwise noted. Temporarily support the existing roof frame in areas affected by demolition.

- 1) Remove portions of roofing materials, roof rafters, and roof sheathing per plans and elevations. (Marked as red hatched)
- 2) Remove portions of interior partitions in office to allow for new stairs. (Marked as red hatched).
- 3) Remove portions of ceiling and ceiling framing to allow for new staircase.
- 4) Remove existing attic pull down stairs.
- 5) Remove portions of insulation to allow for new framing and new electrical.
- 6) Rework existing electrical in areas affected by demolition.

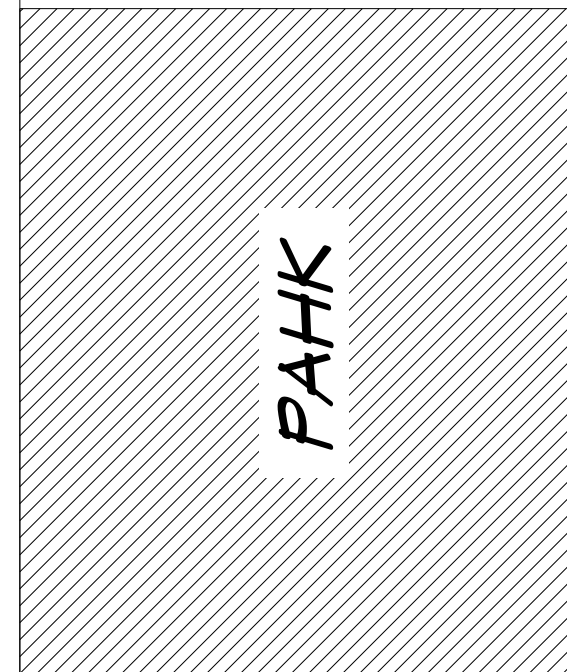
NOTE: electrical lines will be terminated in a junction box.

Approximate

23'-0"



EXISTING ROOF PLAN  
3/16" = 1'



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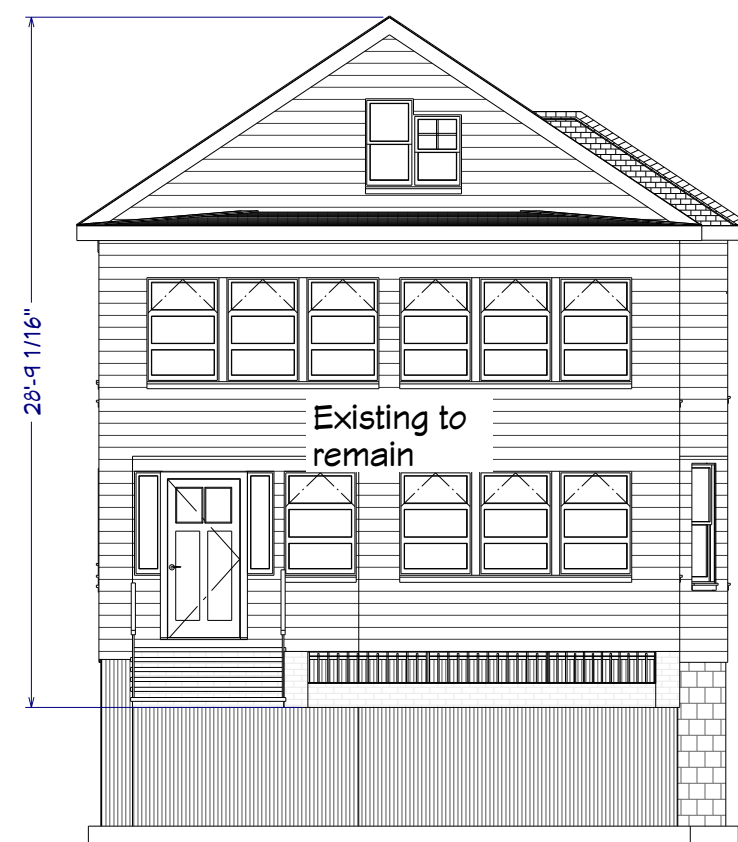
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5/16/2018

**DEMOLITION PLAN**

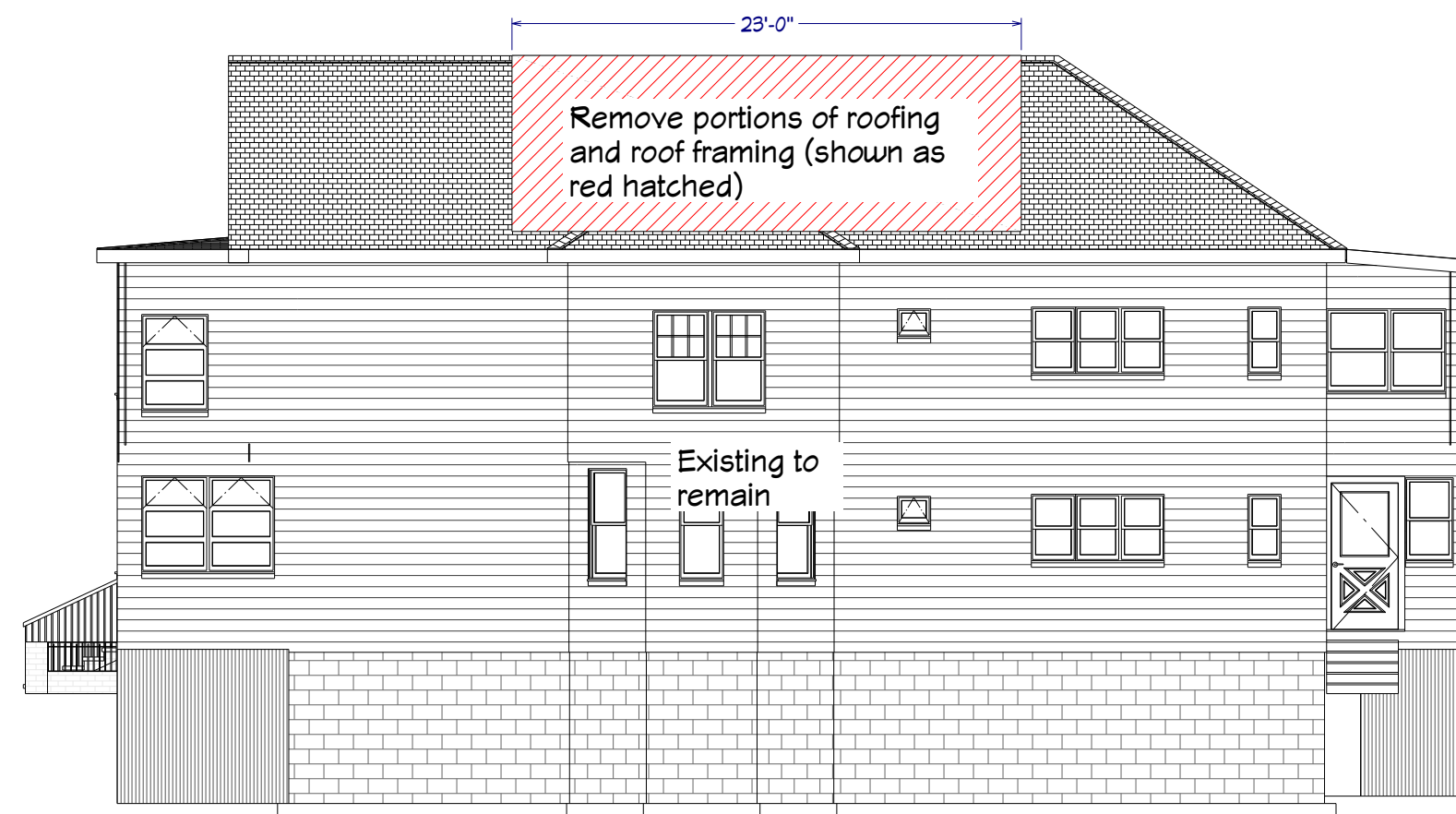
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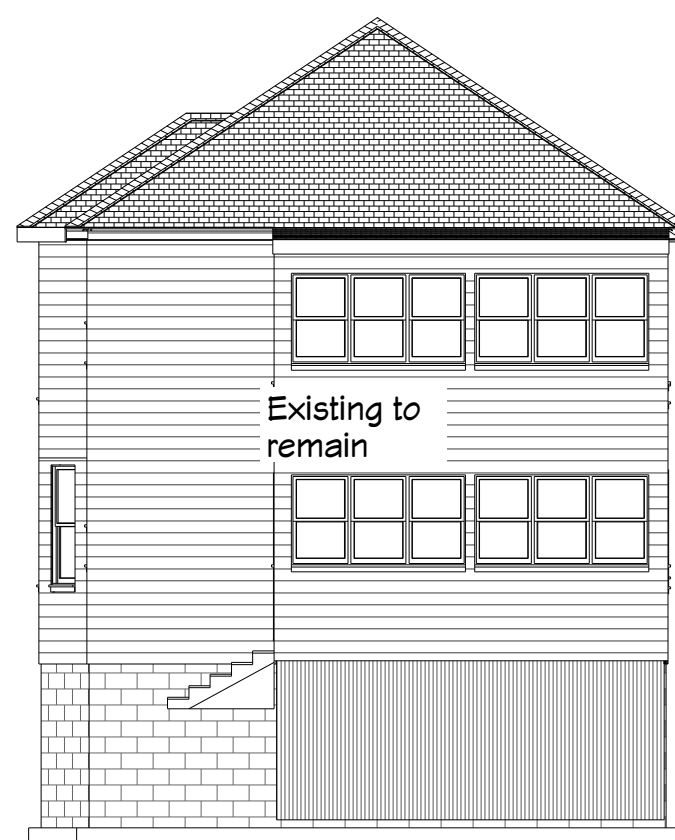
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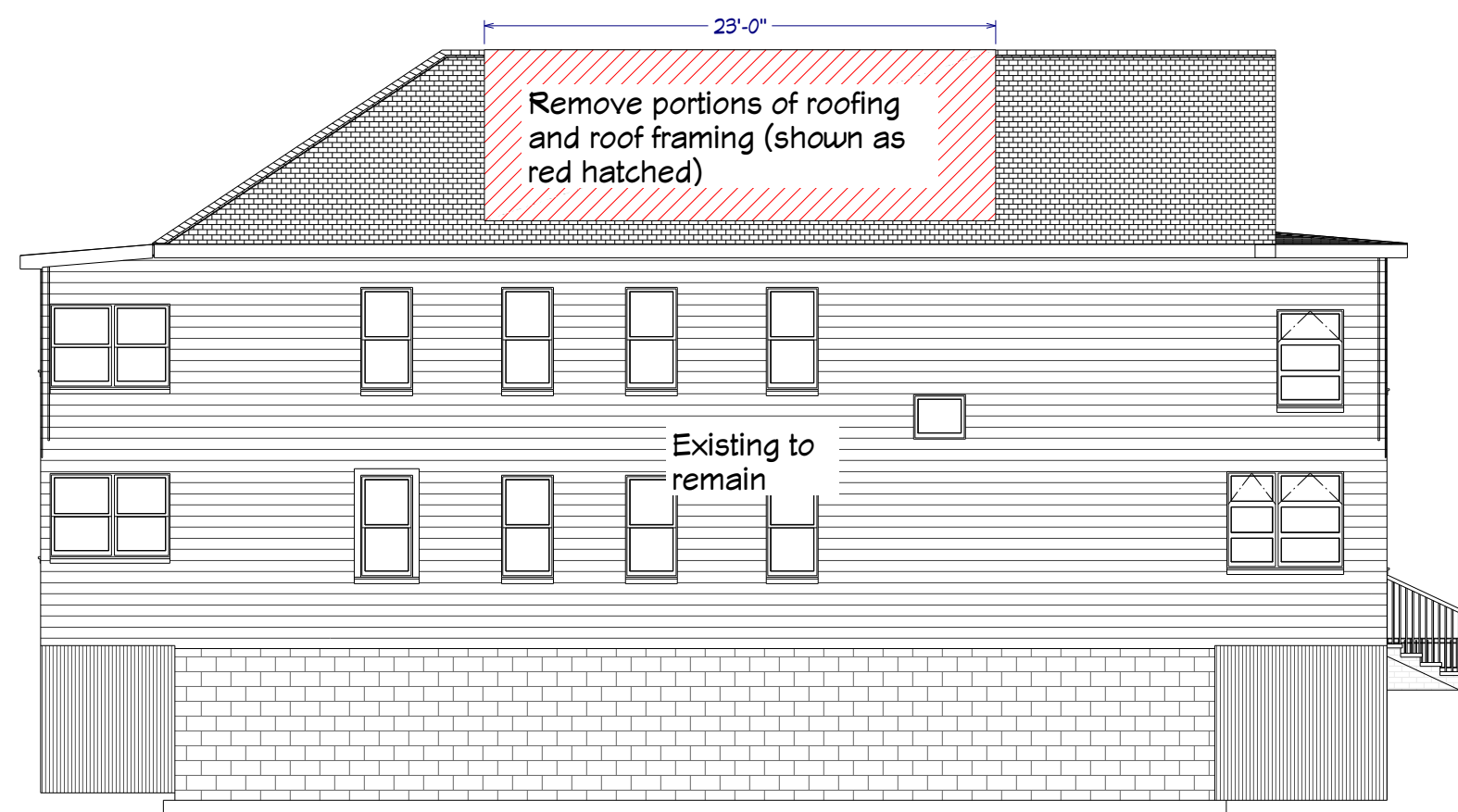
EXISTING FRONT ELEVATION  
1/8" = 1'



EXISTING RIGHT ELEVATION  
1/8" = 1'



EXISTING REAR ELEVATION  
1/8" = 1'



EXISTING LEFT ELEVATION  
1/8" = 1'

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## EXISTING EXTERIOR ELEVATIONS

SCALE:  
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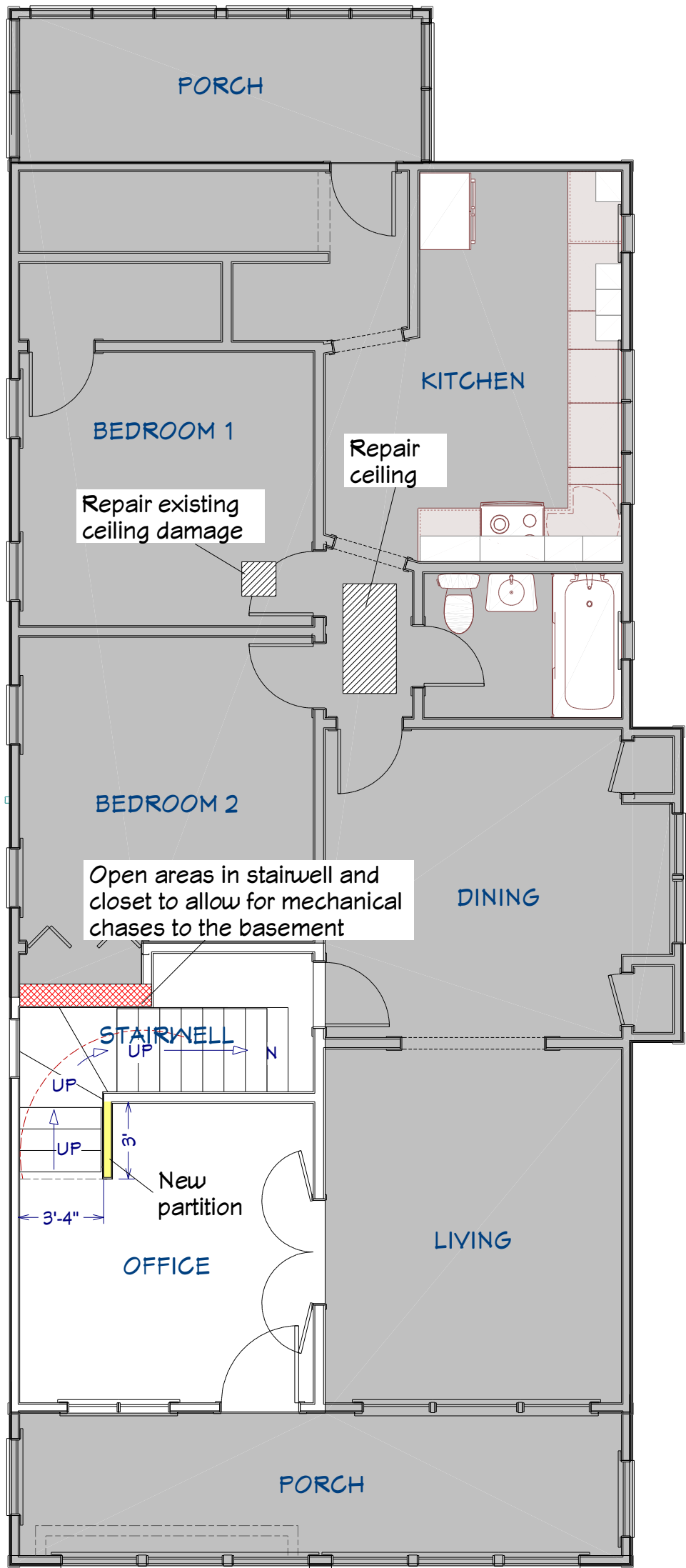


CONSTRUCTION SCOPE

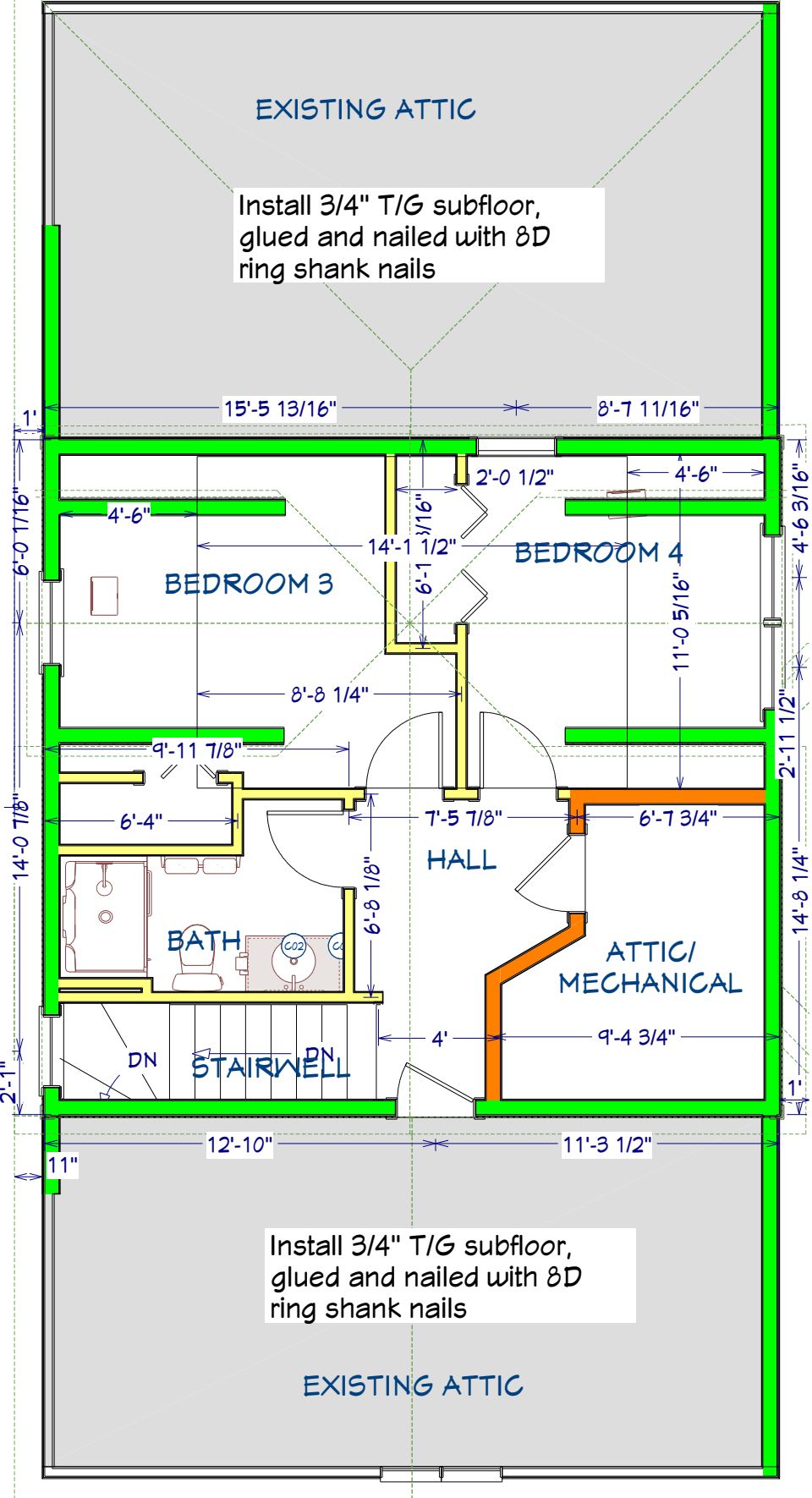
- NOTE: No work in areas shaded gray unless otherwise noted.
- 1) Frame floor joists over existing ceiling joists per Framing plan and detail.
  - 2) Install 3/4" T/G subfloor, glued and nailed with 8D ring shank nails in new spaces and in existing attic spaces.
  - 3) Frame exterior walls with 2 X 6 wall construction, 1/2" sheathing, and Tyvek house wrap.
  - 4) Frame roof per Roof Framing plan.
  - 5) Install roof sheathing per framing plan.
  - 6) Frame interior partitions per plans and wall types.
  - 7) Frame new stairs from second floor to third floor per plans.
  - 8) Frame in ceiling in area of old attic stairs.
  - 9) Install new windows per plans and window schedule.
  - 10) Install vinyl siding per plans and elevations. (Installed on new walls only)
  - 11) Install EPDM roofing per plans and elevations. (Installed on new roof areas only)
  - 12) Install electrical per plans and schedule.
  - 13) Install new bath fan vent in new bath, vent to exterior.
  - 14) Install plumbing feeds and drains to new bath fixtures. Tie into feeds and drains of the existing second floor unit.
  - 15) Install new plumbing vents for new fixtures.
  - 16) Install HVAC heat and air conditioning per HVAC plan and specifications page A-10
  - 17) Insulate new walls with R-21 fiberglass batt insulation.
  - 18) Insulate new ceiling with R-49 cellulose blown-in insulation.
  - 19) Install 1/2" blue board and skim coat plaster to walls and ceilings. Walls will have a smooth finish. Ceilings and closet interiors will have a light textured finish.
  - 20) Repair areas of existing ceilings per plans. NOTE: Repaired areas will be blended into existing textures and may not be an exact match.
  - 21) Repair areas of stairwell opened for mechanical chases to basement. NOTE: Repaired areas will be blended into existing textures and may not be an exact match.
  - 22) Install treads, risers, skirts, and railing per Stair Detail page A-11
  - 23) Install bathroom cabinets per plans and cabinet schedule.
  - 24) Install counters per finish schedule.
  - 25) Install bath fixtures per plans and finish schedule.
  - 26) Install doors per plans and schedule.
  - 27) Install primed 1 X 6 window and door header trim with Brosco B100 vertical trim to be similar to photo on A-9.
  - 28) Install primed Brosco baseboard moulding B400 FJP.
  - 29) Install one melamine closet shelf and one pole in new bedroom closets.
  - 30) Install 2 1/4" oak plank flooring, sand and finish with three coats of oil finish.
  - 31) Paint new walls with one primer coat and two finish coats.
  - 32) Paint new ceilings with one primer coat and one finish coat.
  - 33) Paint pre-primed trim two finish coats.
  - 34) Paint doors with two finish coats.

EXISTING SECOND FLOOR PAINTING SCOPE

- 1) Paint ceiling with one primer coat and one finish coat in Bedroom 1, Hall, Stairwell, and Office.
- 2) Paint walls in Office and Stairwell (new and existing) with two finish coats, newly plastered areas will be primed with one coat.
- 3) Paint Office and new Stairwell trim with two finish coats.



PROPOSED SECOND FLOOR  
3/16" = 1'



PROPOSED THIRD FLOOR  
3/16" = 1'

WALL TYPE LEGEND

- NEW 2 X 6 EXTERIOR WALL
- NEW 2 X 6 INTERIOR WALL
- NEW 2 X 4 INTERIOR WALL
- EXISTING WALLS



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PROPOSED SECOND AND THIRD  
FLOOR PLANS

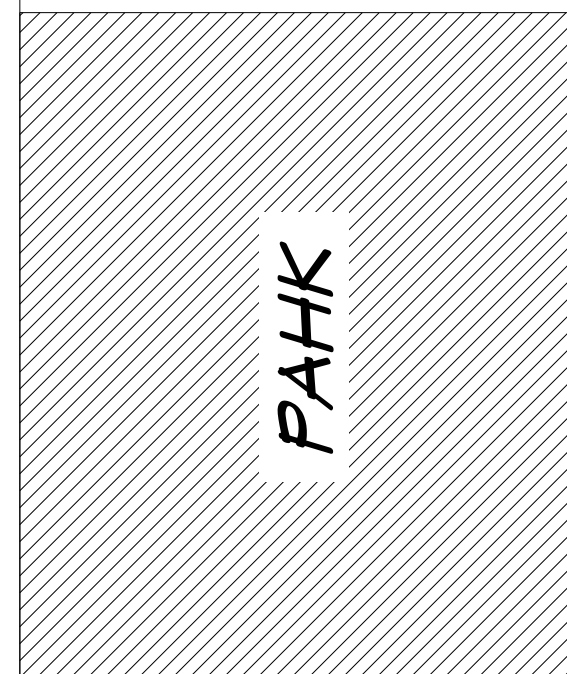
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N.H.

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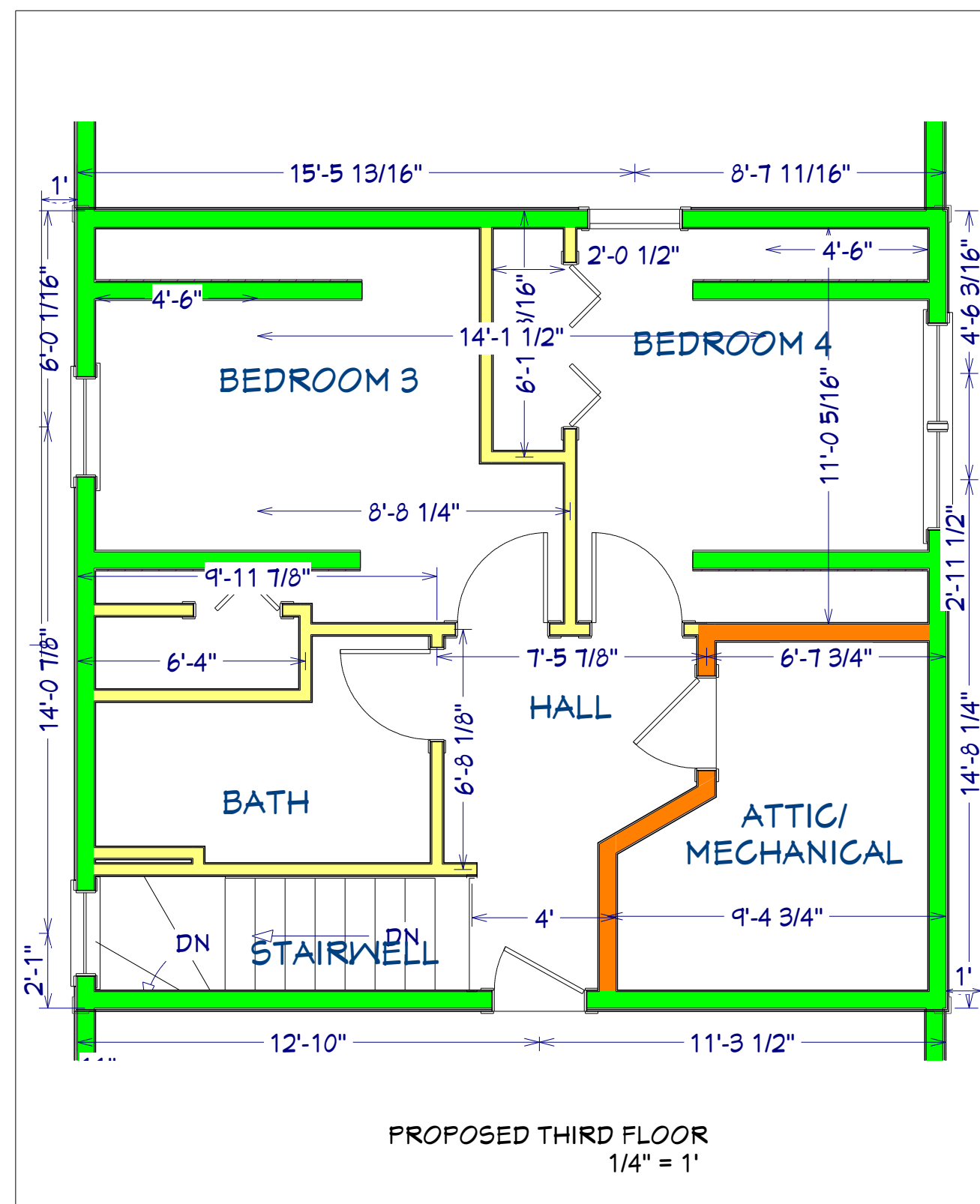
PROPOSED THIRD FLOOR PLAN

SCALE:  
AS NOTED

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N.S.  
N.H.

DRAWING #

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### WALL TYPE LEGEND

-  NEW 2 X 6 EXTERIOR WALL  
 NEW 2 X 6 INTERIOR WALL  
 NEW 2 X 4 INTERIOR WALL  
 EXISTING WALLS



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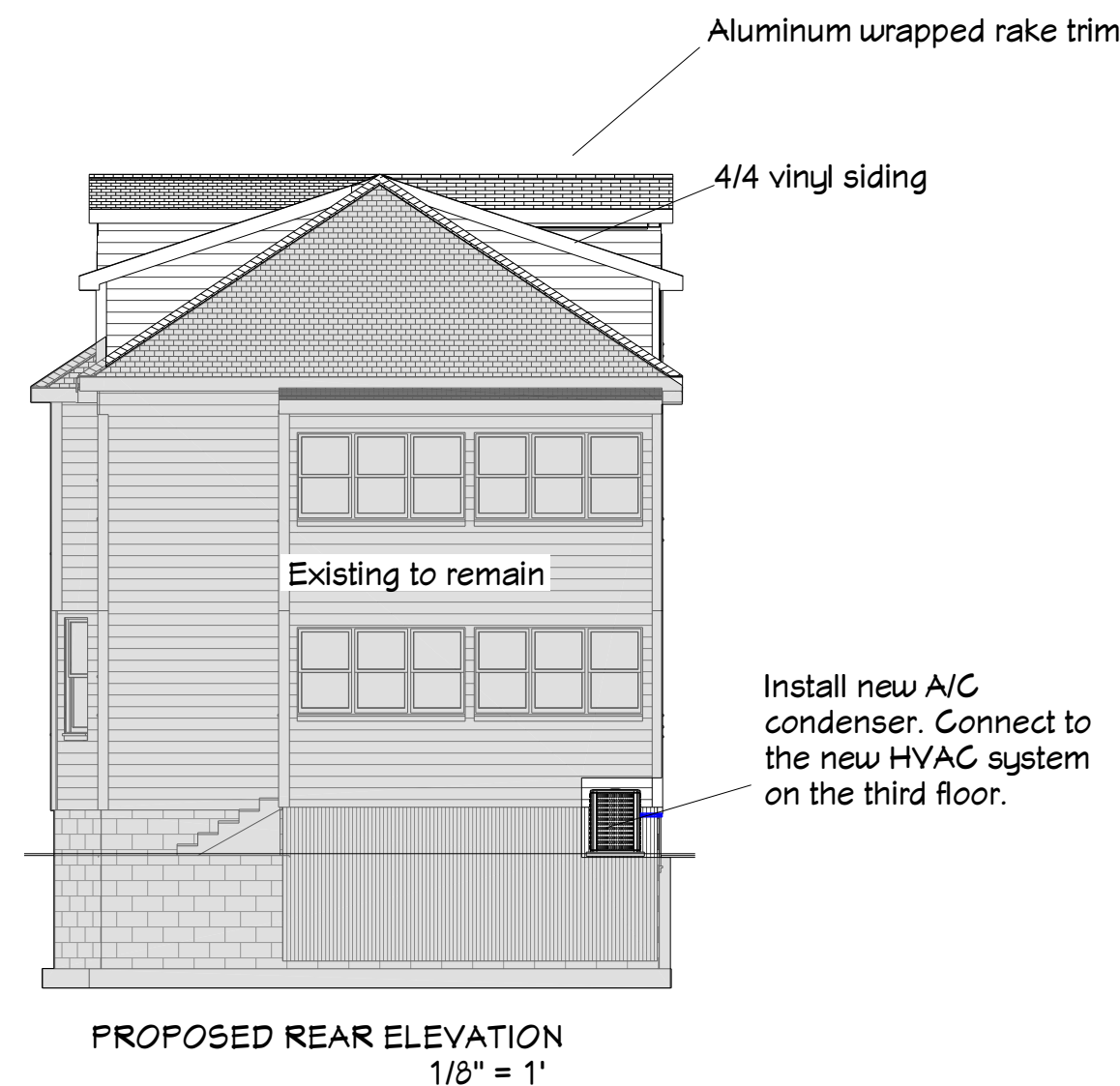
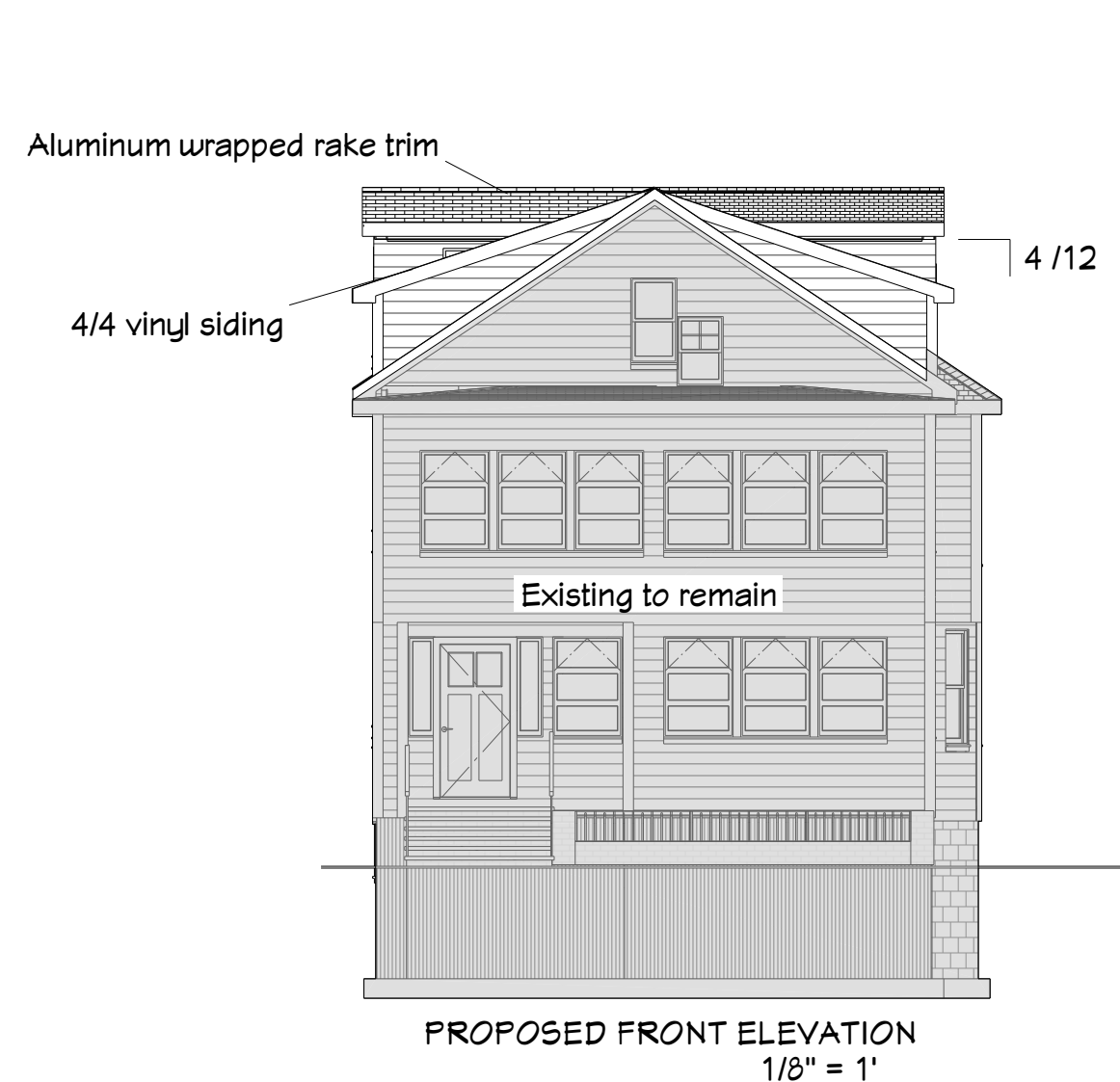
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## PROPOSED EXTERIOR ELEVATIONS

SCALE:  
AS NOTED

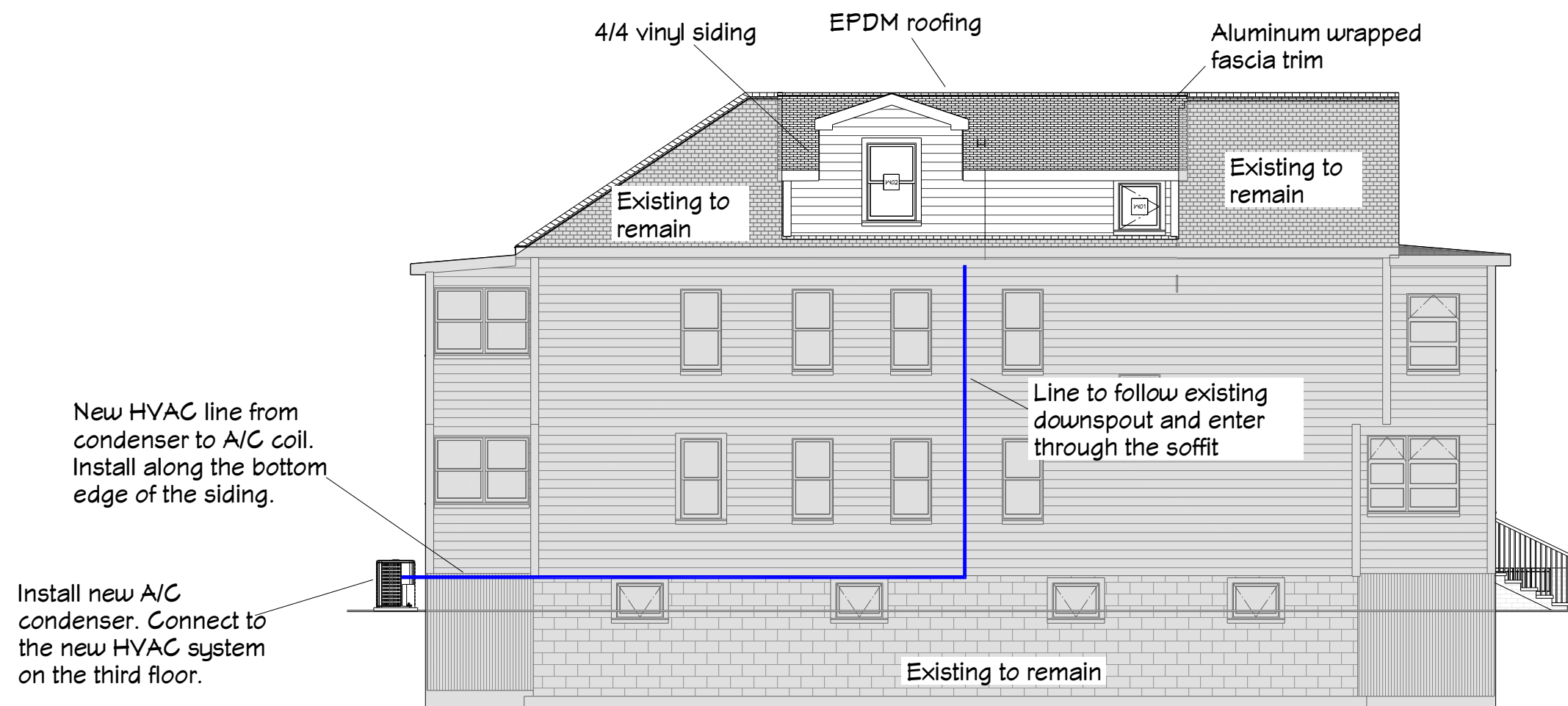
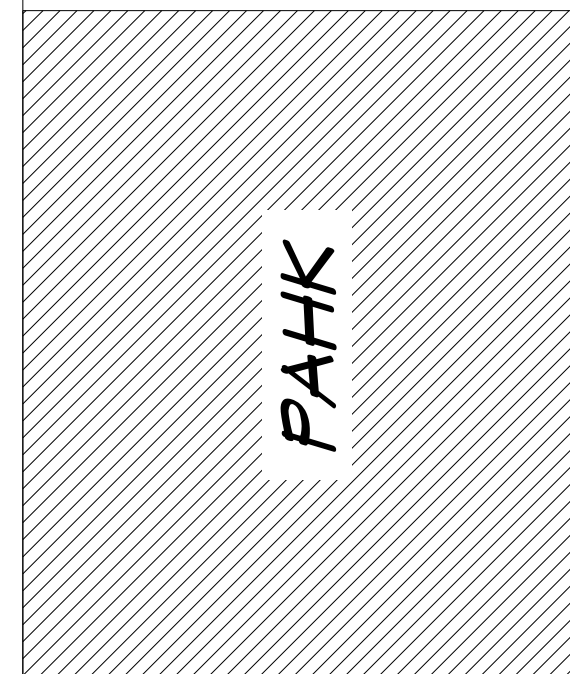
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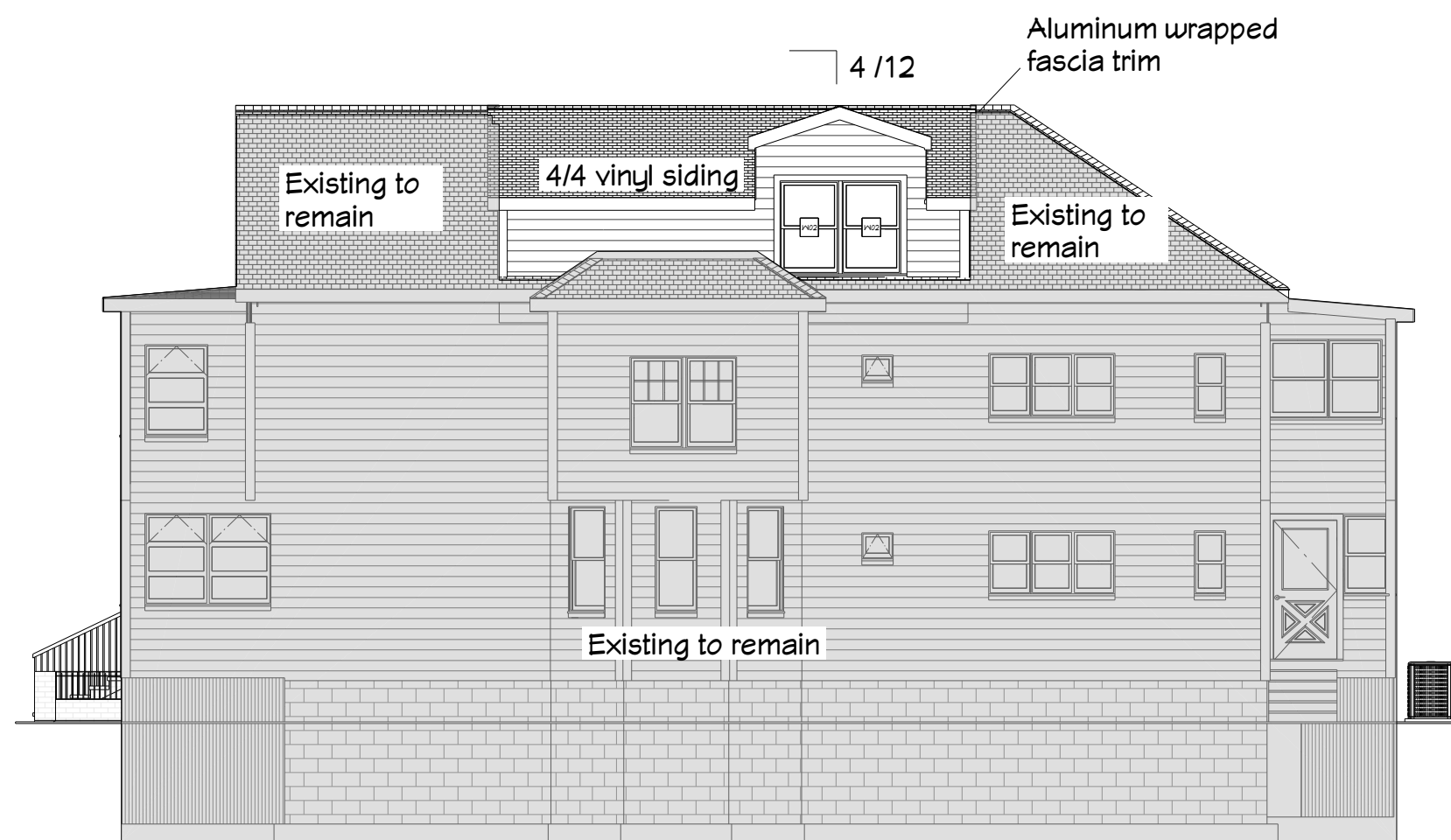


### VINYL SIDING (New framing only)

- 1) Install house wrap over wall sheathing with taped seams. Wrap into window openings and tape over window flanges.
- 2) Install 3 1/3" vinyl outside corners, color to be "Autumn Yellow" or approved equal.
- 3) Install double 4" Certainteed Mainstreet vinyl siding, Color to be "Autumn Yellow" or approved equal.
- 4) Install vented T-4 vented vinyl soffit panels.
- 5) Wrap fascias and rakes with aluminum coil.



PROPOSED LEFT ELEVATION  
1/8" = 1'



PROPOSED RIGHT ELEVATION  
1/8" = 1'

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### PROPOSED EXTERIOR ELEVATIONS

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Finish Schedule/Selections List

3rd Floor Bath:

**Cabinets:** Showplace EVO– “Chesapeake” – Paint grade – Soft Cream. 5pc headers, full extension drawers, soft close doors and drawers.

**Countertops:** Swanstone - “Tahiti Desert” solid surface counter with integrated sink, back and side 4” splash.

**Faucets (1):** Kohler “Forte - Traditional” –Widespread sink faucet with traditional lever handles  
#K-10272-4A-CP - Polished Chrome

**Shower Unit:** Sterling – “Accord” 48” x 36” #7226-0100 – White 4-piece modular “Vikrell” acrylic shower unit with center drain.

**Shower Fixtures:** Kohler – “Forte - Traditional” Valve trim and 2.5 gpm showerhead #K-TS10276-4A -CP – Polished Chrome. Rite Temp Valve #K-304-K-NA

**Toilet:** Kohler – “Corbelle” comfort height, elongated, 2 pc toilet, 1.28 gpf #K-3814-0 White. “Reveal” grip tight, quiet-close, elongated toilet seat #K-4008-0 White.

**Tile:** Floor –**Place holder** - Hex Matte White Porcelain Mosaic Tile - 2 x 2 in.  
By: Fired Earth Ceramics  
From “The Tile Shop”  
Grout: Whisper Grey  
From: "The Tile Shop"

**Vanity Lighting:** Kohler – “Forte” – Transitional double wall sconce #K-11366-CP – Polished Chrome

**Bath Accessories:** Kohler – “Forte - Traditional” – Polished Chrome

- Toilet Paper Holder #K11274-CP
- 24” Towel Bar #K11271-CP
- Customer provided surface mounted mirror

**Paint:** Sherwin Williams  
Walls: Satin finish, color TBD  
Trim: Semi-Gloss, Color TBD  
Ceiling: Flat Ceiling white

Finish Schedule/Selections List

3rd Floor Bedrooms and Hall:

**Flooring:** 2 1/4" Red Oak flooring, sanded and finished with three coats of oil polyurethane, Sheen TBD

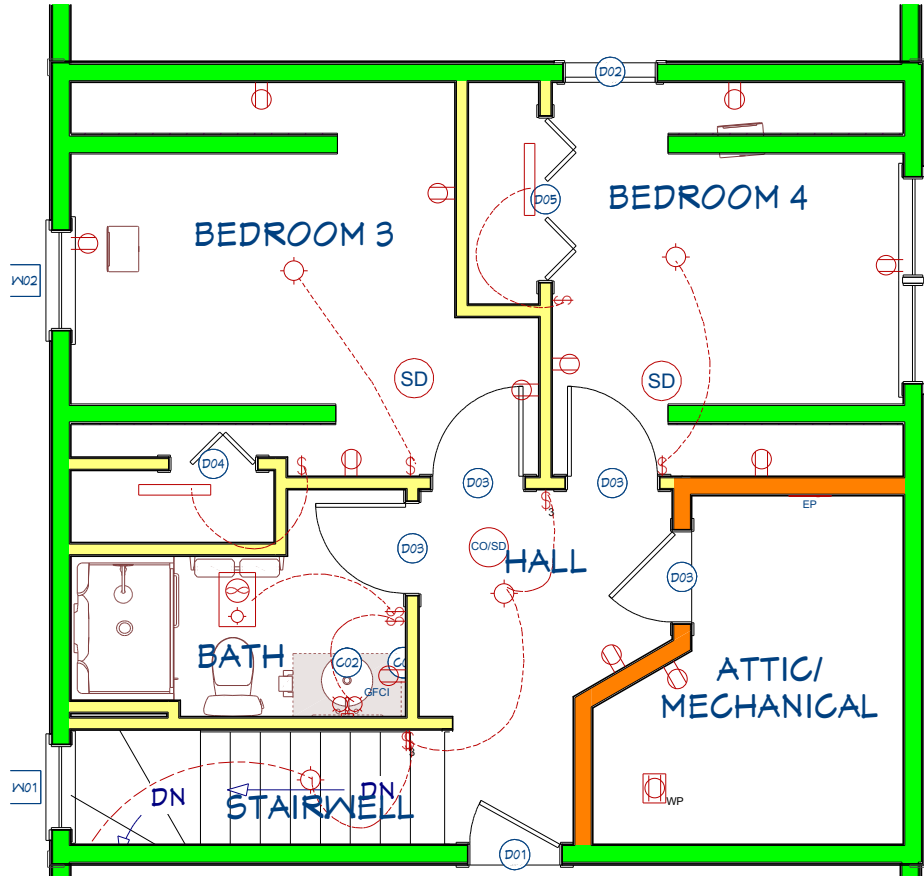
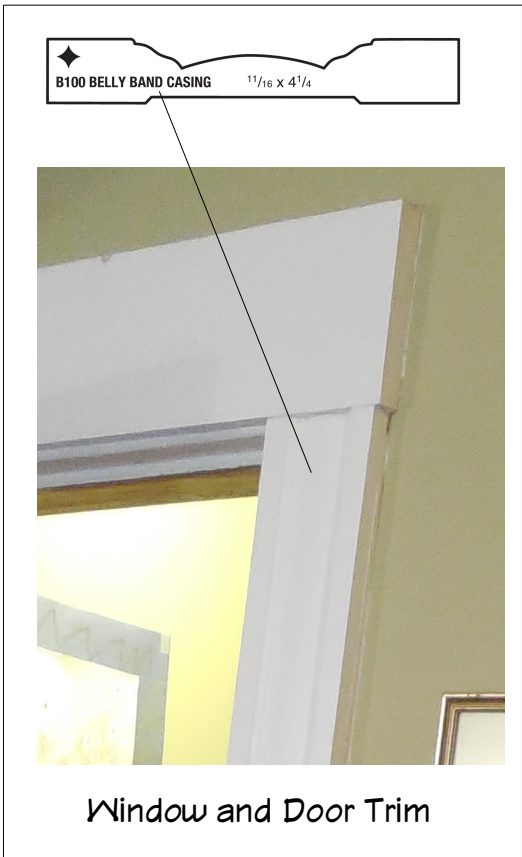
**Paint:** Walls, trim, ceiling – Sherwin Williams – Color TBD

ELECTRICAL SCHEDULE									
NUMBER	QTY	FLOOR	DESCRIPTION					COMMENTS	
E01	1	2	SINGLE POLE						
E02	1	3	BATH FAN/LIGHT COMBINATION					PANASONIC MODEL FY-11VQL6, 110 CFM	
E03	1	3	CO/SMOKE DETECTOR					HARDWIRE INTO EXISTING SECOND FLOOR CIRCUIT	
E04	1	3	HVAC POWER AND CONTROL WIRING FOR FURNACE, CONDENSER, AND AIR HANDLER						
E05	1	3	GFCI						
E06	7	3	SINGLE POLE						
E07	4	3	SURFACE MOUNTED FIXTURE					CUSTOMER PROVIDED	
E08	11	3	DUPLEX						
E09	1	3	VANITY LIGHT					KOHLER FORTE PER FINISH SCHEDULE	
E10	2	3	SMOKE DETECTOR					HARDWIRE INTO EXISTING SECOND FLOOR CIRCUIT	
E11	2	3	THREE WAY						
E12	2	3	FLOURESCENT CLOSET LIGHT						
E13	1	3	SUB-PANEL REUN OFF OF EXISTING ELECTRICAL SERVICE						

CABINET SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	MANUFACTURER	COMMENTS
C01	BF221	1	3	1 1/2 "	21 "	36 "	FILLER		
C02	FA.2TVSD3621	1	3	36 "	21 "	36 "	TALL COMBINATION SINK AND DRAWER BASE	SHOWPLACE EVO	FLUSH RIGHT

DOOR SCHEDULE									
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION		MANUFACTURER	COMMENTS	
D01	1	3	30 "	60 "	FLUSH PRIMED PANEL, SOLID CORE, SOLID JAM		HARVEY INDUSTRIES	INSTALL WEATHER STRIPPING, ACTUAL SIZE TO BE FIELD VERIFIED AND MAXIMIZED FOR HEIGHT.	
D02	1	3	30 "	40 "	STATIONARY ACCESS PANEL			MDO PANEL WITH RIGID INSULATION FASTENED TO BACK SIDE, ACTUAL SIZE TO BE FIELD VERIFIED AND MAXIMIZED FOR HEIGHT.	
D03	4	3	30 "	80 "	2 RECESSED PANEL MDF DOOR PRC22		HARVEY INDUSTRIES	PRIMED JAMS, MDF PANELS, SOLID CORE	
D04	1	3	28 1/8 "	80 "	2 RECESSED PANEL MDF DOOR PRC22 BIFOLD DOORS		HARVEY INDUSTRIES	PRIMED JAMS, MDF PANELS, SOLID CORE	
D05	1	3	54 "	80 "	2 RECESSED PANEL MDF DOOR PRC22 BIFOLD DOORS		HARVEY INDUSTRIES	PRIMED JAMS, MDF PANELS, SOLID CORE	

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	DESCRIPTION	MANUFACTURER	U-FACTOR
W01	244	1	3	28 1/2 "	32 "		HARVEY SLIMLINE WHITE VINYL SINGLE CASEMENT	HARVEY INDUSTRIES	0.3
W02	2842	3	3	33 1/2 "	53 "	YES	HARVEY SLIMLINE WHITE VINYL DOUBLE HUNG	HARVEY INDUSTRIES	0.3



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SCHEDULES AND ELECTRICAL  
LAYOUT

SCALE:  
NOT TO SCALE

DRAWN BY:

R.A.  
N.S.  
N.H.

DRAWING #

A  
11

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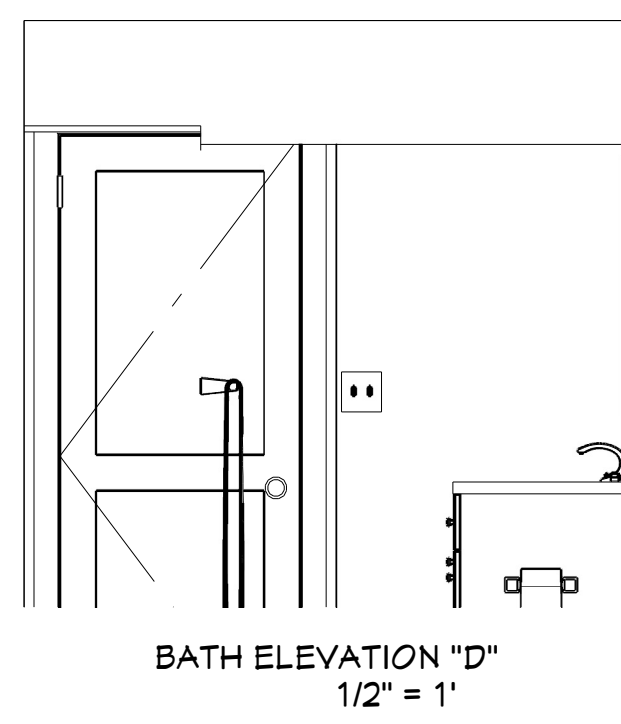
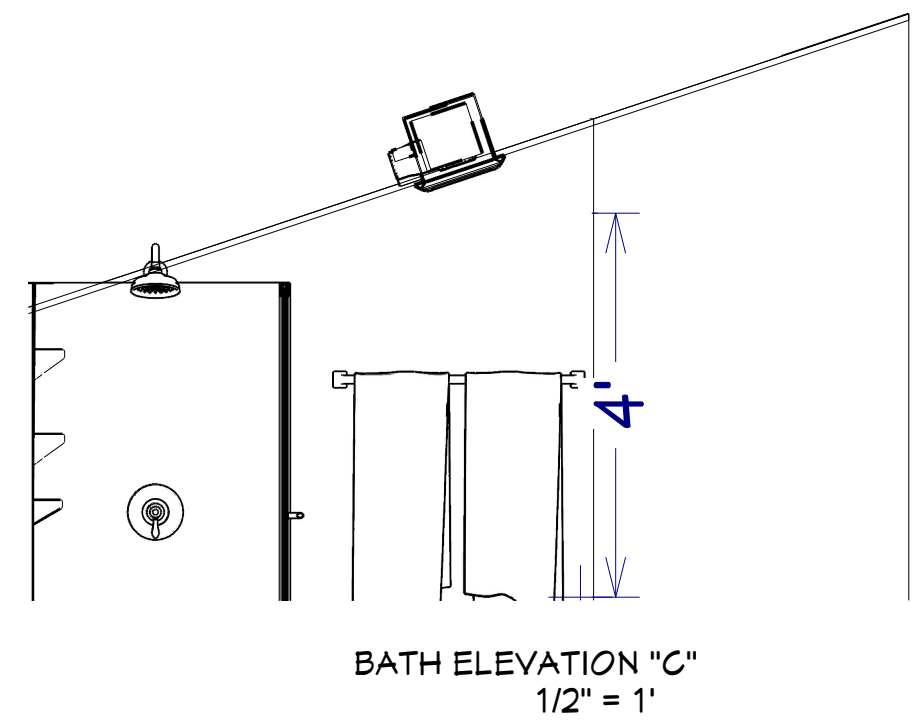
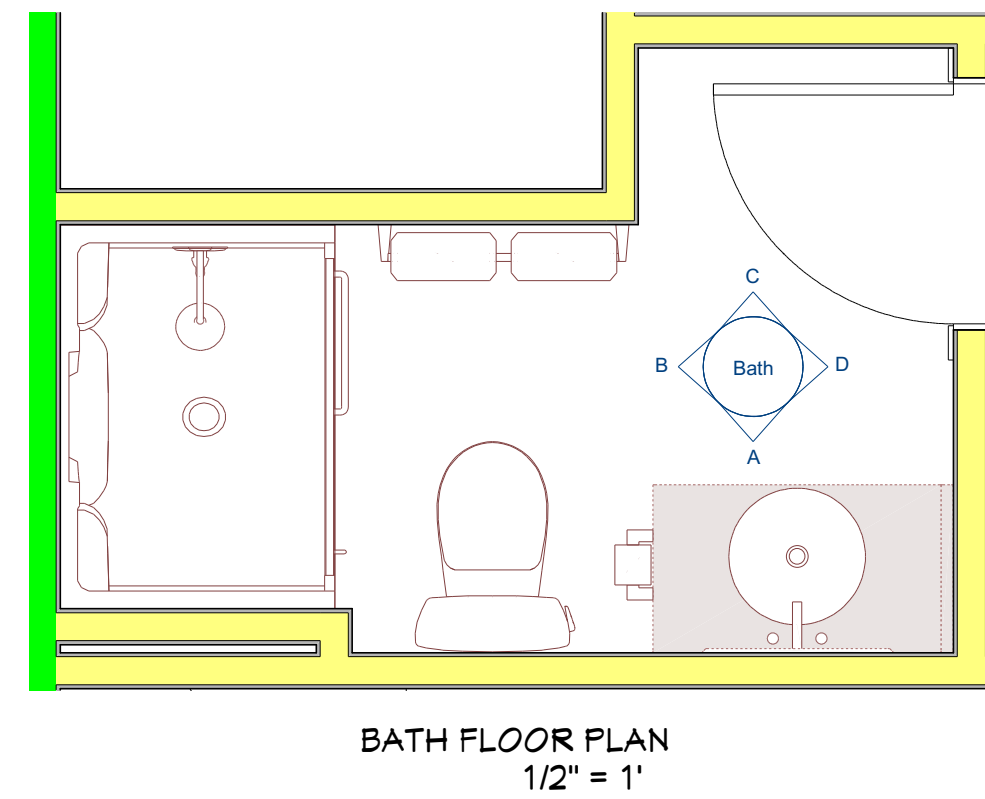
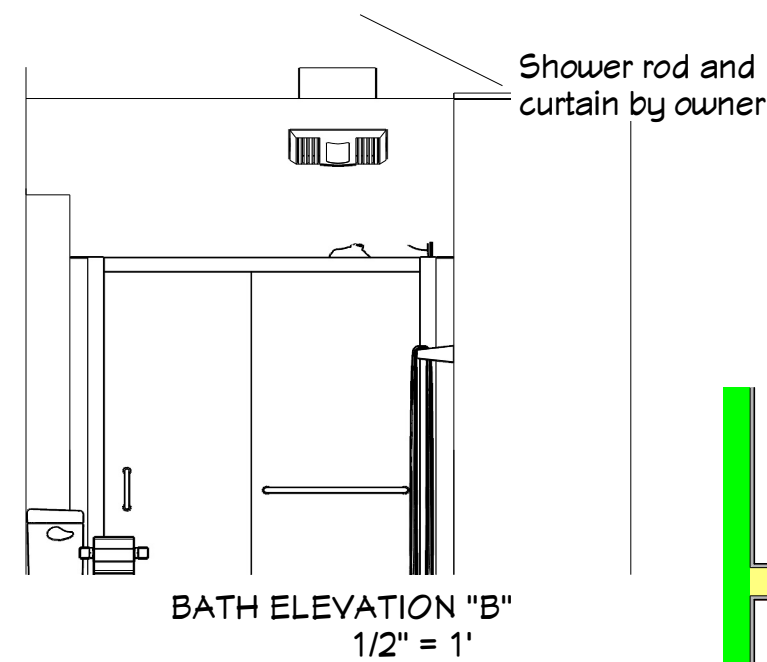
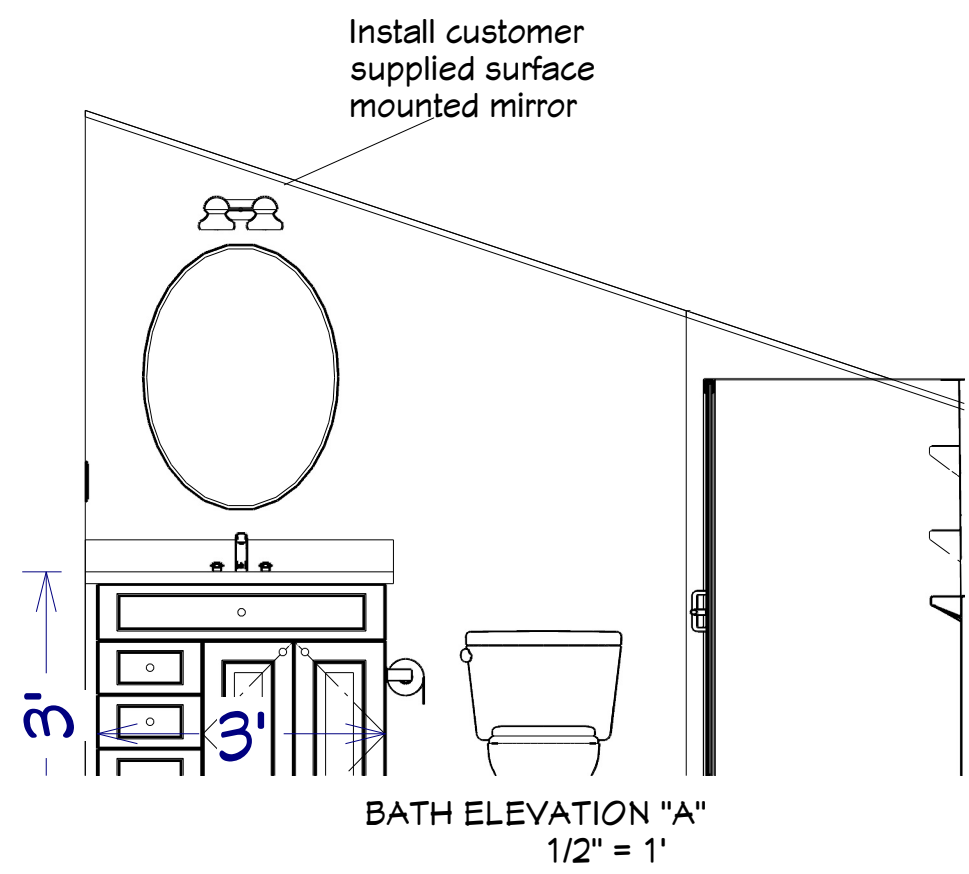
BATH INTERIOR ELEVATIONS

SCALE:  
AS NOTED

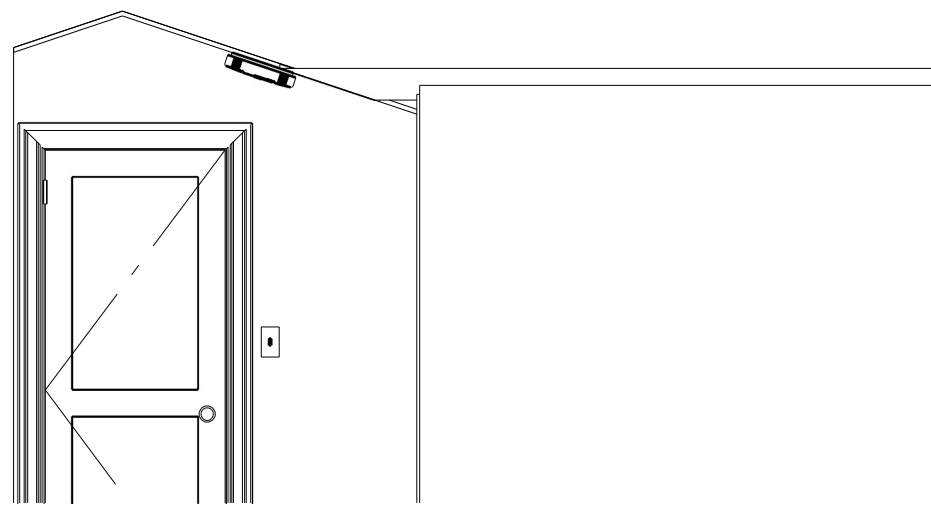
DRAWN BY:  
R.A.  
N.S.  
N.H.

DRAWING #

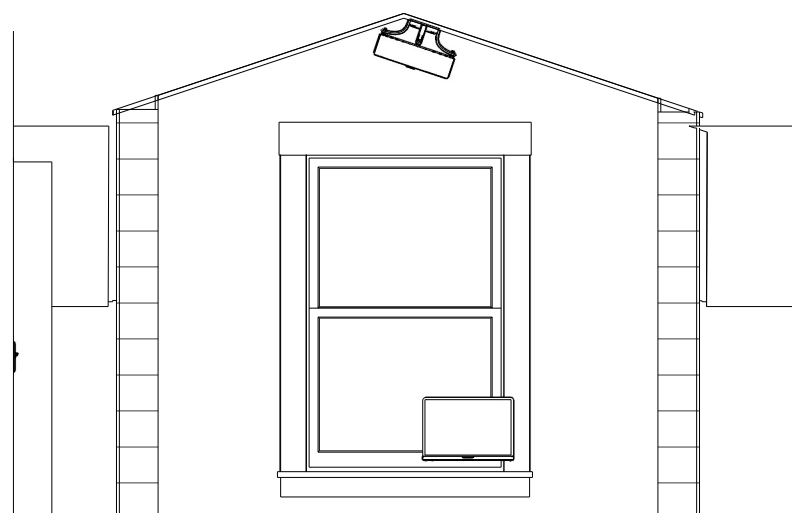
A  
12



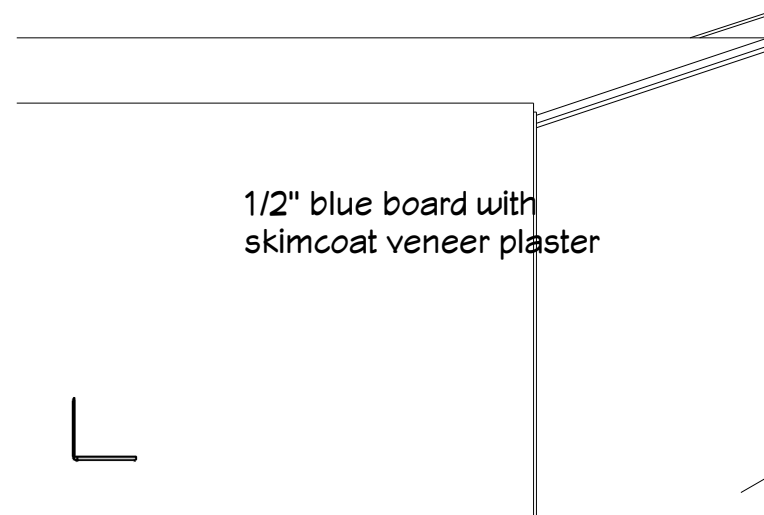




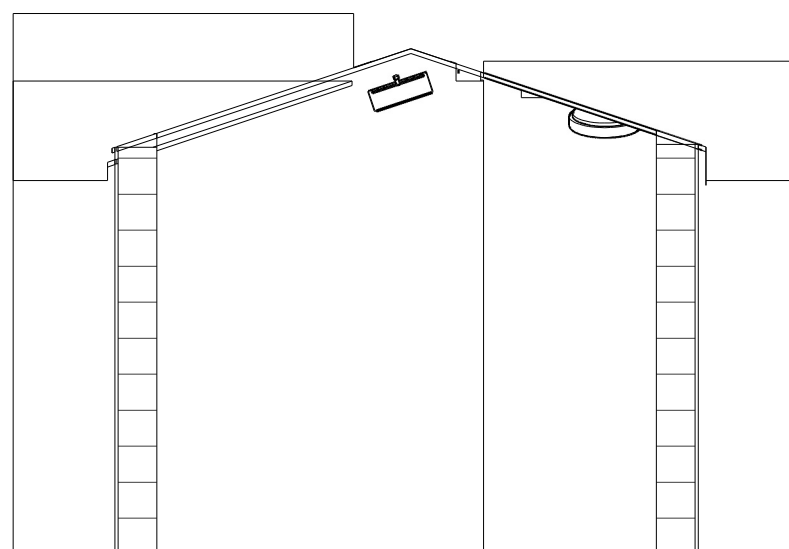
BEDROOM 3, ELEVATION "A"  
3/8" = 1'



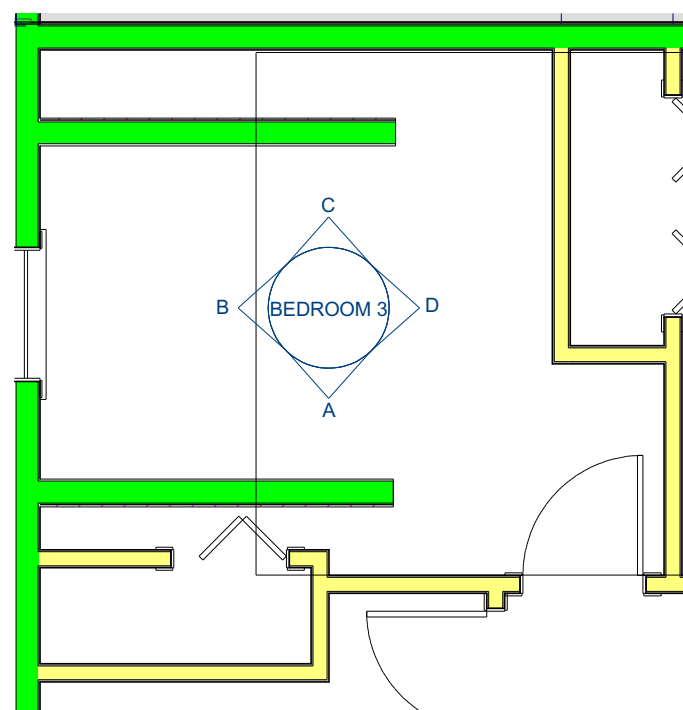
BEDROOM 3, ELEVATION "B"  
3/8" = 1'



BEDROOM 3, ELEVATION "C"  
3/8" = 1'



BEDROOM 3, ELEVATION "D"  
3/8" = 1'



BEDROOM 3 FLOOR PLAN  
1/4" = 1'

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BEDROOM 3 INTERIOR  
ELEVATIONS

SCALE:  
AS NOTED

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13

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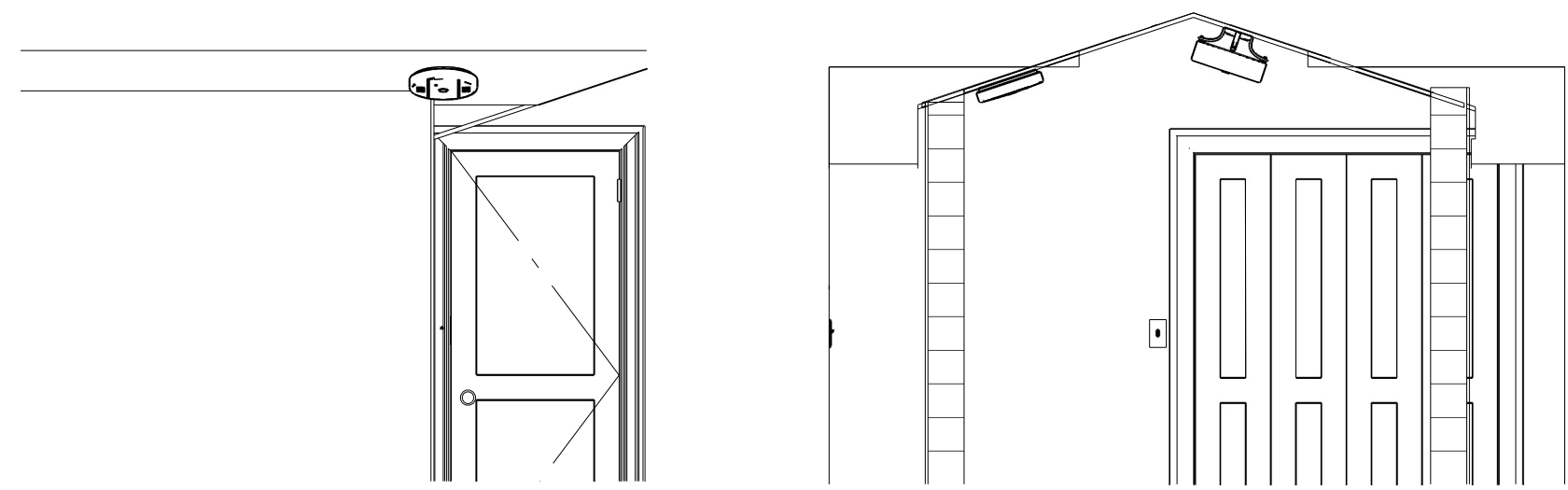
BEDROOM 4 INTERIOR  
ELEVATIONS

SCALE:  
AS NOTED

DRAWN BY:  
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N.S.  
N.H.

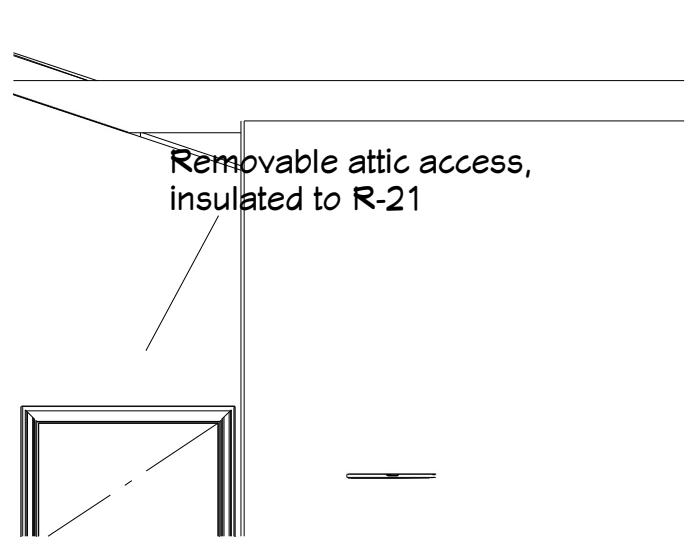
DRAWING #

A  
14

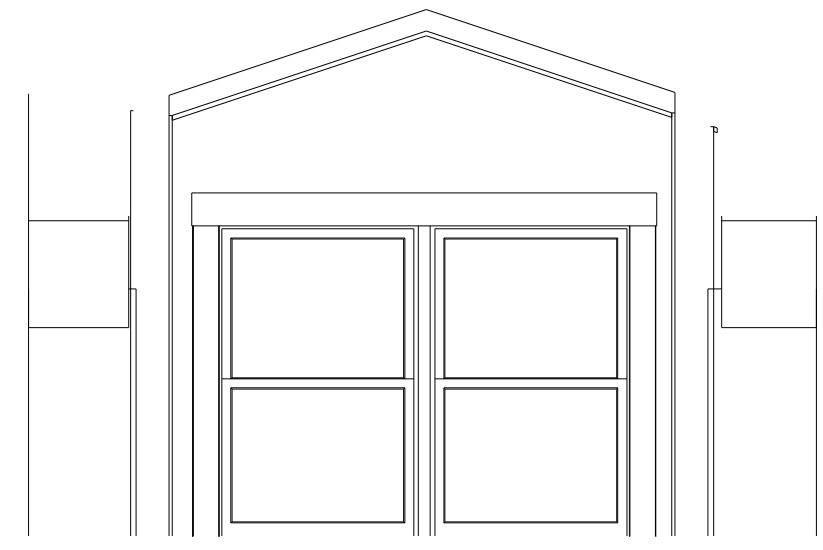


BEDROOM 4, ELEVATION "A"  
3/8" = 1'

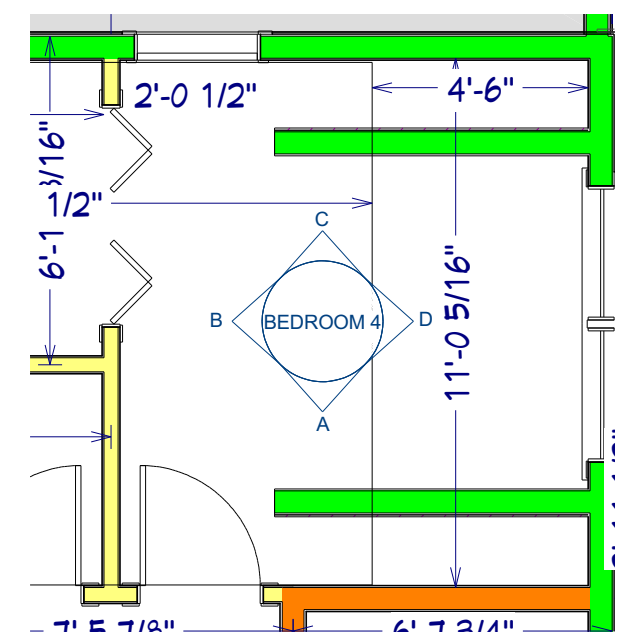
BEDROOM 4, ELEVATION "B"  
3/8" = 1'



BEDROOM 4, ELEVATION "C"  
3/8" = 1'



BEDROOM 4, ELEVATION "D"  
3/8" = 1'

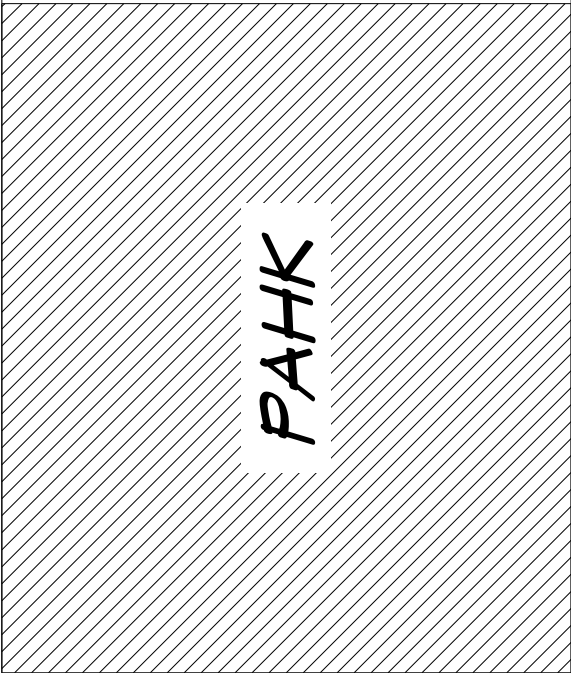
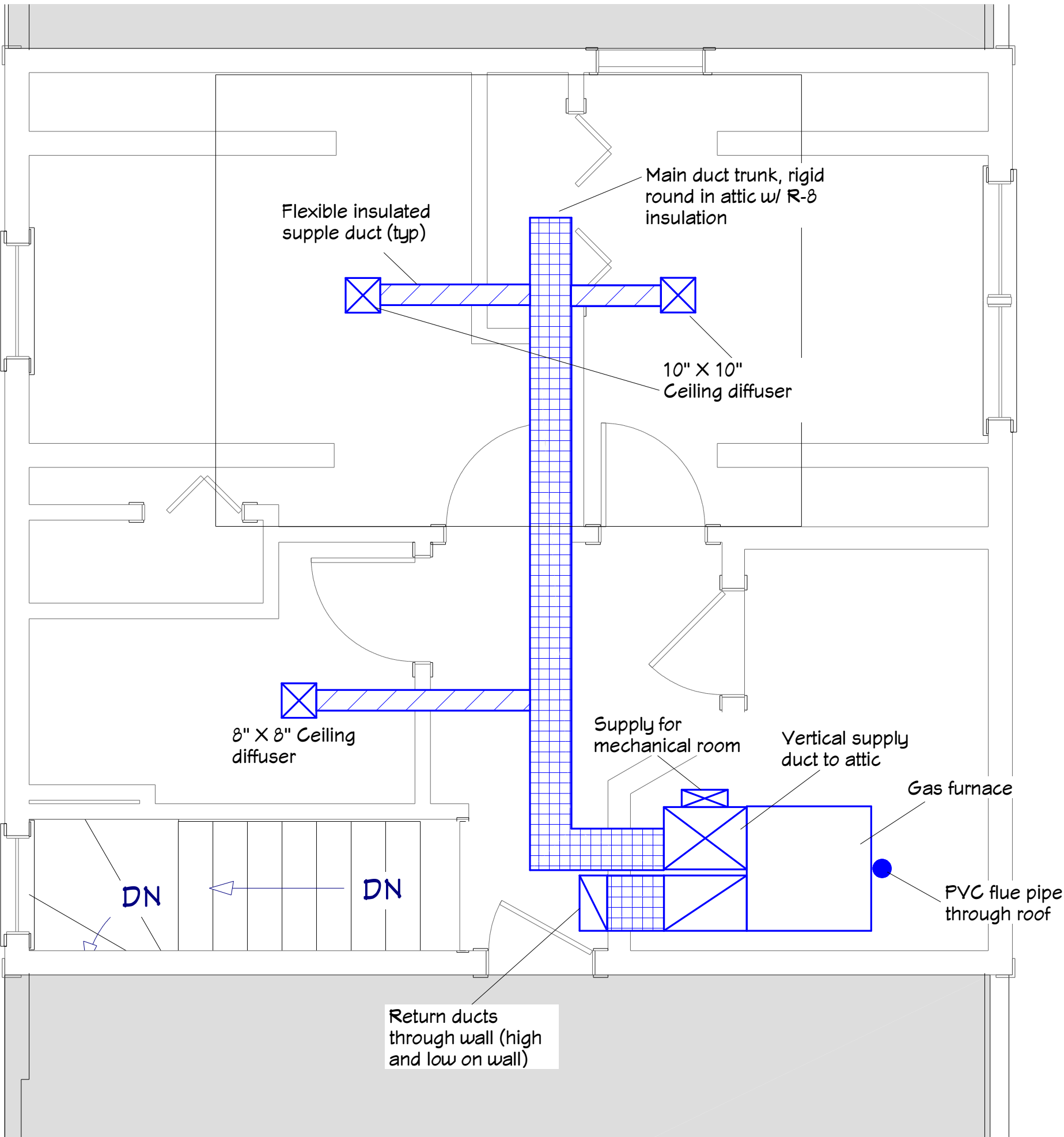


BEDROOM 4 FLOOR PLAN  
1/4" = 1'

**FURNACE:**  
Goodman Model GMSS920402BNA, 40,000BTU gas furnace

**CONDENSER:**  
Goodman Model gsx130181, 18,000BTU 1 1/2 ton

All duct work to be insulated with R-8 duct insulation



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HVAC PLAN

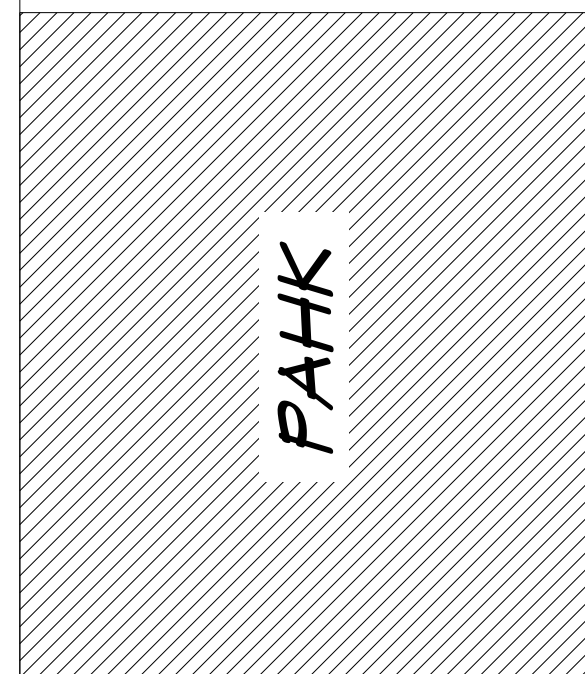
SCALE:  
3/8" = 1'

DRAWN BY:  
R.A.  
N.S.  
N.H.

DRAWING #

A  
15





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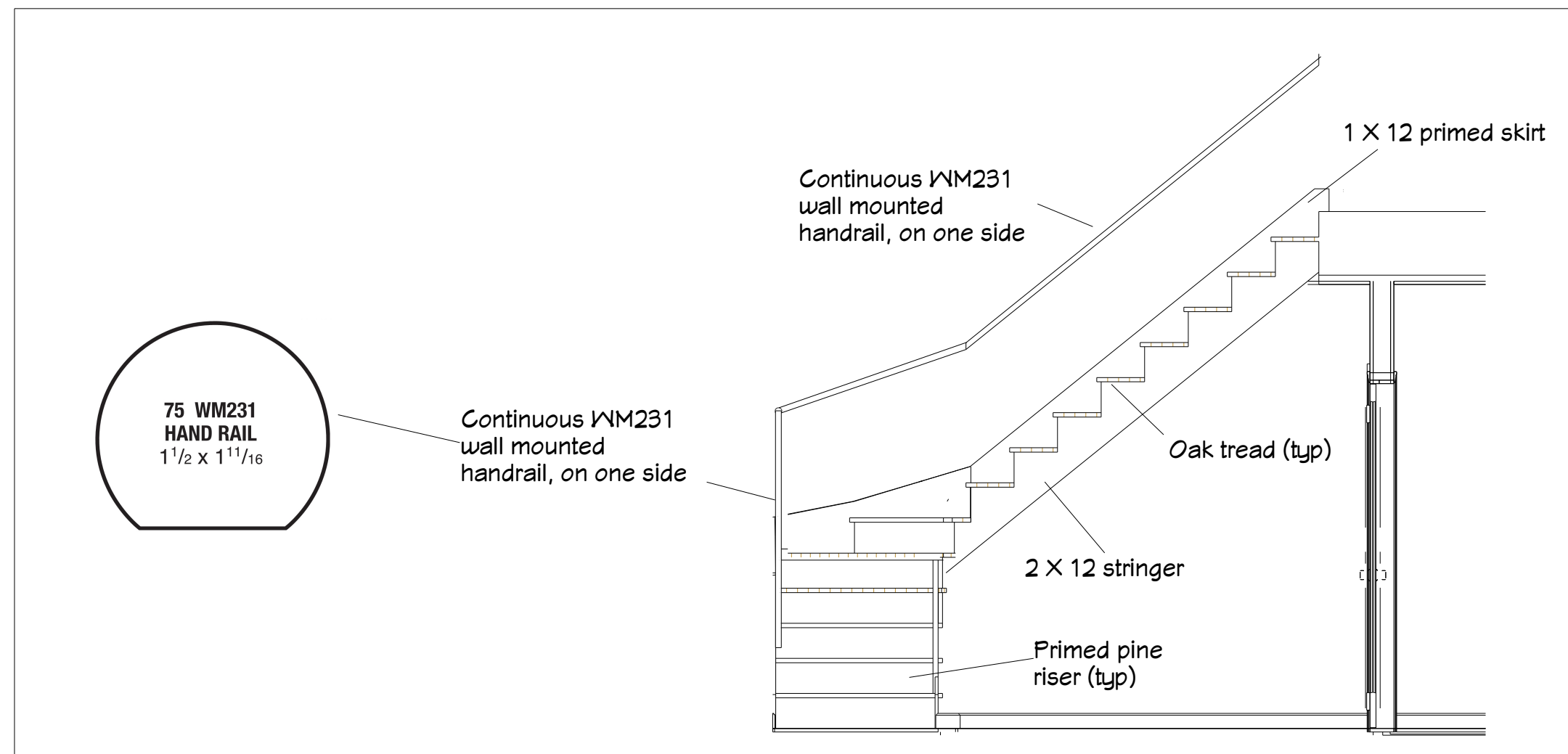
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## STAIR DETAIL

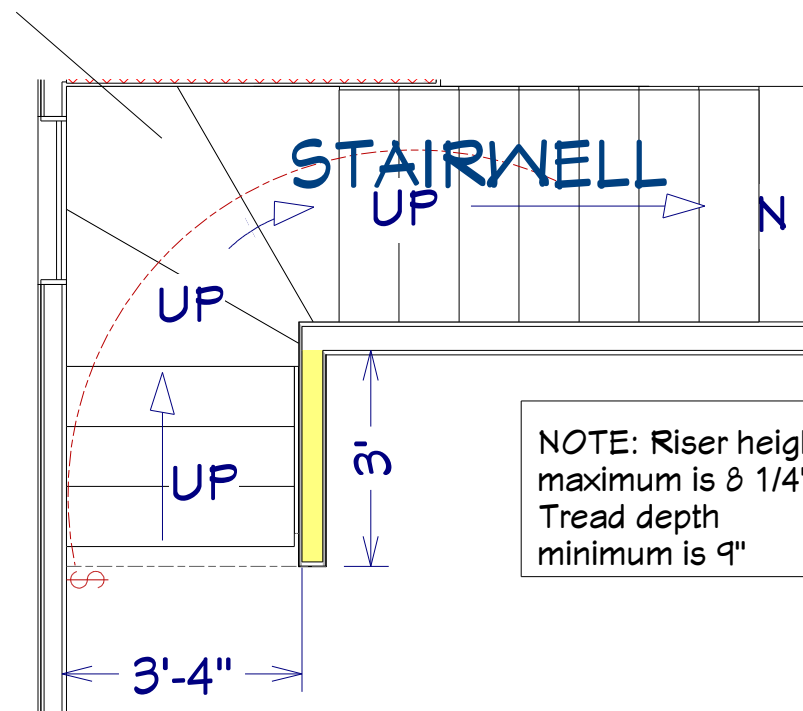
SCALE:  
3/8" = 1'

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R.A.  
N.S.  
N.H.

DRAWING #  
**A**  
**16**



Winder treads to shall have a minimum tread depth equal to the tread depth of the straight run portion of the stairs measured at a point 12" from the side where the treads are narrower. Winder treads shall have a minimum tread depth of 3 inches at any point. Within the flight of stairs, the greatest winder tread depth at the 12" walkline shall not exceed the smallest by more than 3/8 inch.



### STAIRWAY FROM SECOND TO THIRD FLOOR

- 1) Frame stairs with (3) 2 X 12 kd stringers.
- 2) Frame stair winders per plan detail.
- 3) Install 3/4" unfinished oak treads.
- 4) Install primed 1 X 8 risers.
- 5) Install primed 1 X 12 skirt boards.
- 6) Install a continuous railing on one side of the staircase per plan.
- 7) Sand and finish treads with three coats of oil finish.

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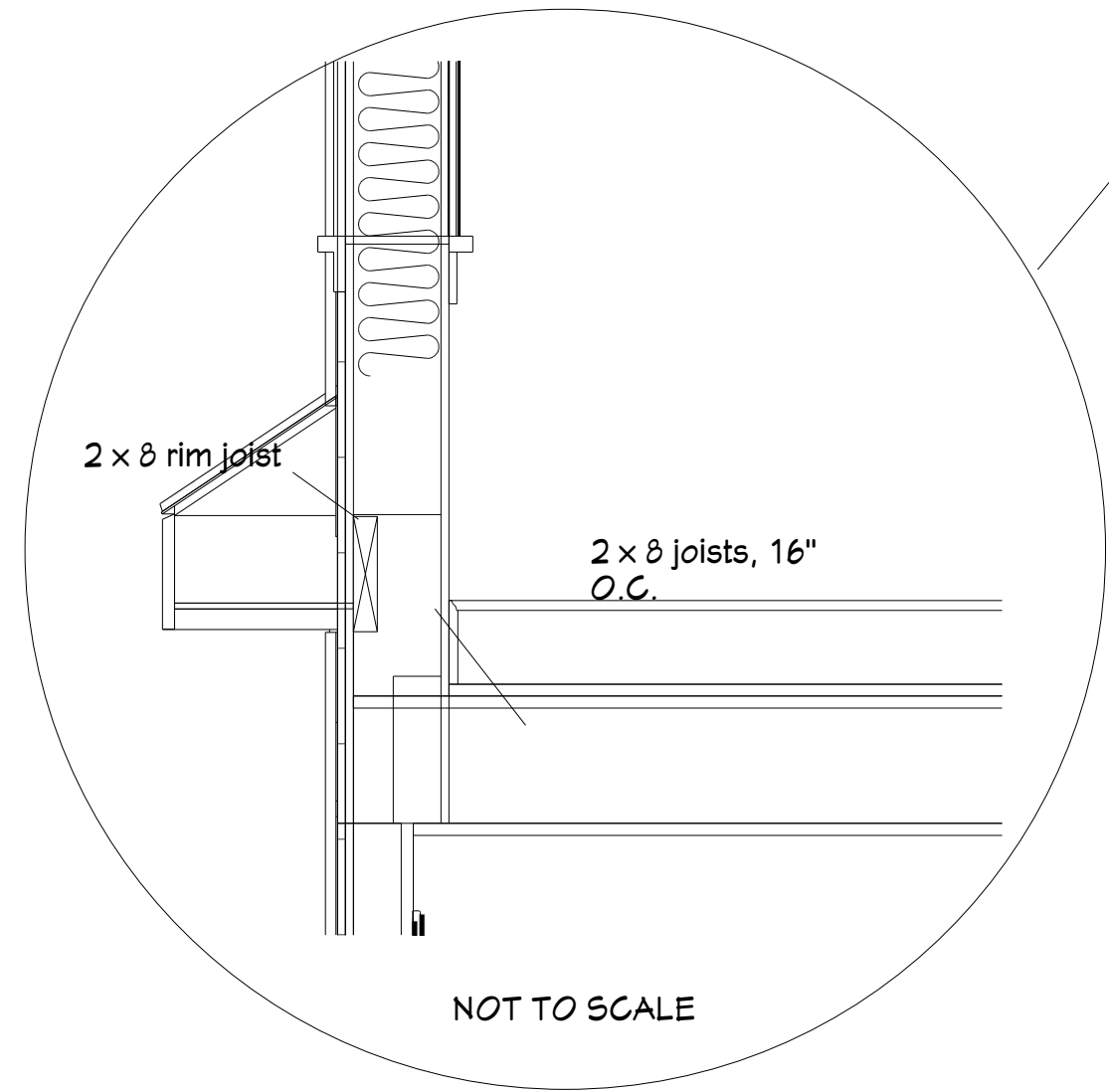
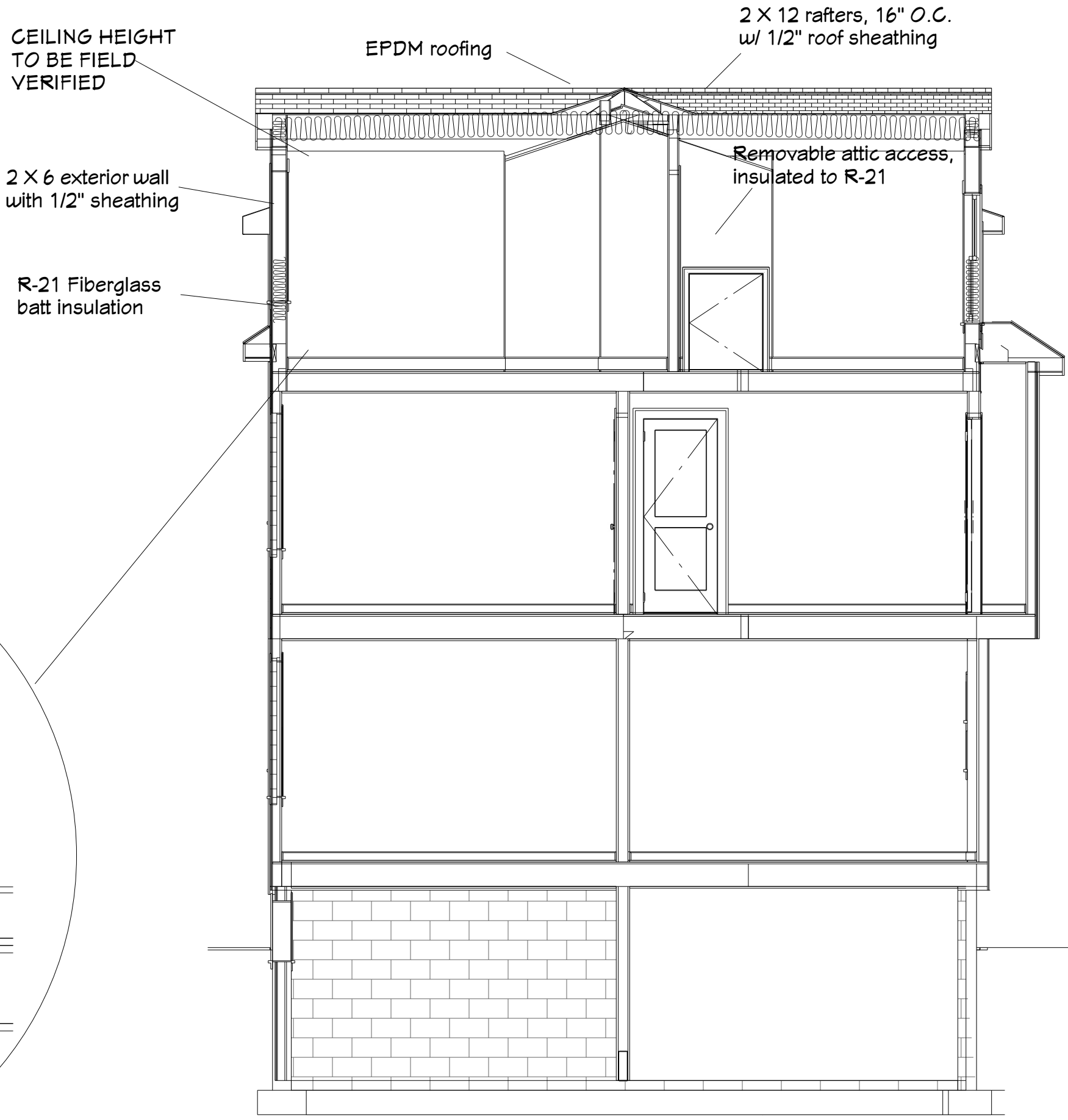
CROSS SECTION

SCALE:  
1/4" = 1'

DRAWN BY:  
R.A.  
N.S.  
N.H.

DRAWING #

A  
17







2015 price & reference guide  
Specifications

## Product awareness

Showplace Wood Products wants your customers to be satisfied with the products they receive from us. Toward that goal, it is important that customers understand the inherent characteristics of woods and finishes.

## Product awareness agreement

As an authorized dealer of Showplace Wood Products, Inc. the undersigned (representing the dealership) acknowledges the responsibility of informing and educating each customer in the specific characteristics and inherent variability of woods and finishes. The undersigned has read and understands the information below. The undersigned understands that as new offerings become available it is their responsibility to explain new characteristics to the customer.

The undersigned agrees not to hold Showplace Wood Products, Inc. responsible if a customer has not been made fully aware of the unique characteristics and inherent variability of their specific order, if those characteristics and variations are within the standards set by Showplace Wood Products, Inc.

The undersigned must be either an Officer or Principal of the dealership.

Dealership \_\_\_\_\_ Location \_\_\_\_\_

Officer or Principal name (print) \_\_\_\_\_

Officer or Principal signature \_\_\_\_\_ Date \_\_\_\_\_

## Characteristics and variability

• **Species:** All woods naturally darken and mellow with age. This process varies with many factors, including the species, finish, and exposure to light. As a rule, cherry will darken more than most other woods. Certain species also exhibit more natural variation than others. Expect hickory to exhibit wide variation in grain, markings and coloration. Expect eucalyptus to show wide grain and color variation, and to darken considerably and rapidly.

• **Stains:** Wood has inherent variations in color, grain, and natural markings like mineral streaking. These variations will be more apparent in lighter stains. The most variation will be visible in the Natural finish, as this is clear sealer and topcoat only, with no base stain coloration. Also note that the application of a

glaze can tint the base stain, resulting in a different appearance from the base stain alone.

• **Hand application:** Showplace specialty finishes are the result of hand crafting. As such, variation is to be expected, and is in fact considered an attribute. This includes glazed finishes with stain or paint, Charcoal, Black, Vintage and distressed offerings.

• **Unfinished:** Unfinished orders are supplied without any stain, sealer or topcoat. Showplace cannot warranty finishes that are applied by the customer.

**WARNING:** Like trees or any other products made of wood, machining, sanding, sawing, or drilling this product may produce wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection.



2015 price & reference guide  
Specifications

## Finish advisory

Showplace Wood Products wants their dealers and end consumers to be completely satisfied with the products they receive. Therefore, it is important to understand the characteristics of finished wood and specialty finish offerings. Listed below are some areas that are important for you to understand in relation to woods and finishes. We require a signed copy of this advisory with any order of:

-Any Natural finish, including exotic and SG woods,  
-Any painted finish, including ColorSelect, Charcoal and Black,  
-Any glazed, gray wash or distressed finish,  
-Any Vintage stained or painted finish,  
-Any unfinished order.

• **Hand application:** Showplace specialty finishes are the result of hand crafting. As such, variation is to be expected, and is in fact considered an attribute.

• **Glazing:** Showplace glazing is hand-applied to edge profiles and detail areas, and partially wiped away. This allows the glazing to collect, or “hang up” in these areas, in a naturally variable way. The inherent variation of hand glazing creates the appeal of this specialty finish process, and is not a defect or reason for replacement. Backs of doors and headers do not receive glazing. Styles without edge detail, such as slab doors, will not show the glazing effect to any significant degree.

• **Gray wash, distressing, paints, Vintage:** These Showplace specialty finishes are hand applied over the entire door and drawer front surfaces, and by their nature, will leave different colorations and/or degrees of distressing throughout the surface and detail profiles of the cabinetry. Each door, frame and header will have its own unique look due to its different characteristics and the inherent variability of hand application. This is the individual beauty that defines these specialty finishes, and is not a defect or reason for replacement. Backs of doors and headers do not receive specialty finish elements.

• **Natural Finish:** Cabinets produced with Natural finish will have clear sealer and top coat applied, but no base coat color of stain. This allows you to enjoy seeing the natural variations in the wood. All woods have many color characteristics, grain patterns, and certain markings that are innate in each species, and a Natural finish allows them to show more than a stained or painted finish does. Such variations should not be thought of as defects or imperfections; this is the beauty of wood.

• **Unfinished:** On request, Showplace will supply unfinished cabinetry. Unfinished orders are produced without any stain, sealer, or top coat applications. Showplace cannot warranty finishes that are applied by the customer.

*We have read the above information and understand the characteristics of the finishes. We understand that our order may vary slightly from one cabinet to another, and that this is a characteristic of wood.*

Signatures:

Dealer: \_\_\_\_\_

Dealer P.O.: \_\_\_\_\_

Customer: \_\_\_\_\_

Date: \_\_\_\_\_

*Please sign completed form and submit with order (copy as needed).*

Dealers may choose to complete the blanket product awareness agreement which can be placed on file with Showplace in lieu of completing a Finish Advisory for individual orders.

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## PRODUCT AWARENESS

SCALE:

DRAWING #

DRAWN BY:

R.A.  
N.S.  
N.H.

A  
18

PRODUCT AWARENESS





2015 price & reference guide  
Specifications

about Showplace paints

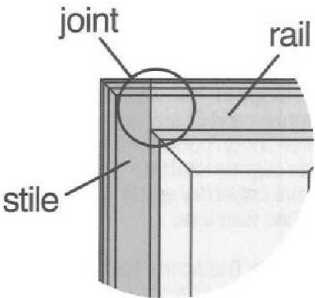
• **Paint vs. stain:** Showplace painted finishes have the solid-color appeal of standard painted cabinetry, but are actually created through a multi-layer process that includes final topcoating with an oven-baked varnish, similar to our stains. The Showplace finish process actually yields an end result that is more durable than many standard “paints.”

• **Sheen:** All painted finishes are offered in your choice of satin sheen (25 degree mid-gloss) and matte sheen (10 degree low-gloss). Prior to 2013, all Showplace standard paints were finished in satin sheen.

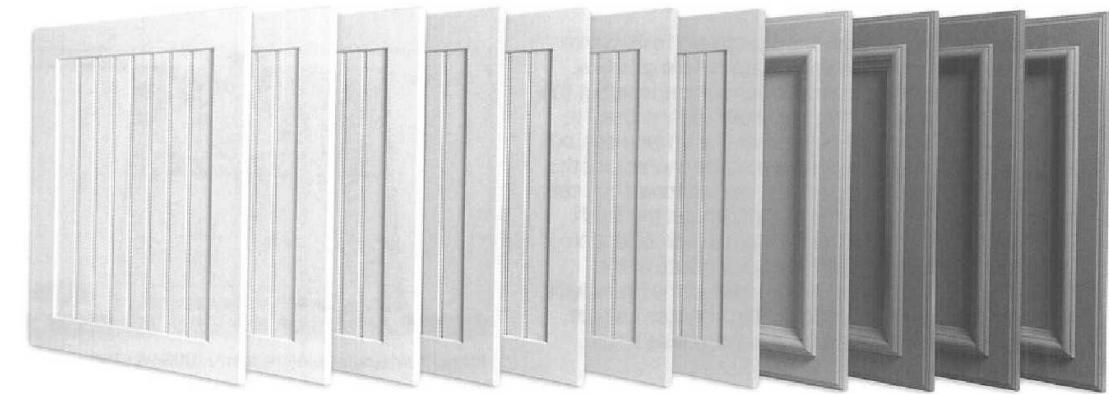
• **End grain:** In areas where the end grain of the wood is exposed – the edges of doors, for example – paints will be able to penetrate even deeper, especially in red oak and hickory. This means end grain areas may appear darker and more variable than flat surfaces like rails, stiles or center panels. This is a natural characteristic of the finish process and is not considered a flaw.

• **Distressing:** All Charcoal orders include hand distressing. There will be some variation in the amount, location and types of distressing features. Also, due to the nature of the Charcoal finish, the “rub-through” component of distressing is very evident, especially with the Natural undertone. Since rub-through is the result of a hand process, a degree of variation is to be expected. The Charcoal photographs shown in our literature and websites represent an average level of distressing. Your cabinetry can be expected to vary somewhat from this average. Variations in distressing should be considered part of Charcoal's character, not flaws.

• **Joinery:** You can expect to see some joinery lines in your cabinetry. One common place for joinery to be visible is where the stile and rail meet on a cabinet door, drawer header or frame. This is a natural characteristic of the finish process, and not considered a flaw.



• **Changes over time:** Wood is “hygroscopic,” meaning it naturally absorbs and releases moisture in its environment. These changes in moisture content may result in small dimensional changes that can happen gradually over time, or happen suddenly with seasonal changes or changes in humidity within the home. When these natural dimensional changes occur, joinery lines can appear that were not visible before. For instance: As wood swells and contracts due to seasonal humidity changes, a joint where a stile and rail meet can open up slightly, showing a line that was not previously visible. When exposed to drier air, solid door center panels will contract, exposing a visible line next to the stile until moisture is restored. Paint grade doors utilize MDF for the center panel which minimizes or eliminates this. These are inherent characteristics of wood, and are not considered flaws.



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